



PLANNING AND ZONING PACKET

DECEMBER 14, 2020

PLANNING & ZONING COMMISSION AGENDA

Notice is hereby given that the Rockport Planning & Zoning Commission will hold a meeting on Monday, December 14, 2020, at 5:30 p.m. The meeting will be held using the video conferencing application ZOOM. **No in-person meeting will be conducted at the Rockport Service Center.** A temporary suspension of the Open Meetings Act to allow telephone or video conference public meeting has been granted by Governor Greg Abbott. These actions are being taken to mitigate the spread of COVID-19 by avoiding meetings that bring people into a group setting and in accordance with Section 418.016 of the Texas Government Code. Video conferencing capabilities will be utilized to allow individuals to address the Planning & Zoning Commission. Members of the public are entitled to participate remotely via Zoom at <https://us02web.zoom.us/j/83083803998> or scan the QR code to the right.



Due to the COVID-19 pandemic, the attorney general has said: “statutes that may be interpreted to require face-to-face interaction between members of the public and public officials are suspended; provided, however, that the governmental bodies must offer alternative methods of communicating with their public officials.” Public participation is valued and citizens wishing to express their views on any topic or agenda item can either electronically submit a citizen participation form in order to register to speak by going to <https://rockport.seamlessdocs.com/f/BoardsCitizenParticipation> or scanning the QR code to the right. Using the same form, citizens can also provide written comments to the Community Planner by 4:00 p.m. on the day of the meeting. The Chair will read the comments and they will be entered in the minutes of the meeting.



The matters to be discussed and acted upon are as follows:

Opening Agenda

1. Call meeting to order.

Regular Agenda

2. Deliberate and act on approval of the regular meeting minutes of November 16, 2020.
3. Deliberate and act on a request to rezone property located at 607 South Church Street; also known as the south 35 feet of Lot 2, all of Lot 3, and the north half of Lot 4, Block 61, Mathis Subdivision, City of Rockport, Aransas County, Texas, to R-2 (2nd Single Family Dwelling District) to preserve residential feel of neighborhood; currently zoned B-1 (General Business District).
4. Deliberate and act on a request to rezone property located at 1123 West Market Street; also known as Lot 7 and Lots 16-20, Block 4, West Terrace Subdivision Unit 1, City of Rockport, Aransas County, Texas; to B-1 (General Business District) to bring land use into a conforming zoning district; currently zoned R-1 (1st Single Family Dwelling District).

5. Deliberate and act on a request to rezone property located at 1711-1715 Sixteenth Street; also known as 10.57 acres embracing a portion of Tract 8, lying west of Texas State Highway 35 relief route, and the east one-half of Tract 84, Block 250, Foor and Swickheimer Subdivision, City of Rockport, Aransas County, Texas; to B-1 (General Business District) to prepare property for commercial use, currently zoned R-1 (1st Single Family Dwelling District).
6. Deliberate and act on a Final Plat submitted by Elsley, LLC, for development of a single-family dwelling development subdivision to be known as The Villages at Logan's Crossing P.U.D., Unit 1—located at 3090-3098 State Highway 35 Bypass.
7. Deliberate and act on a Final Plat submitted by Kontiki Beach Resort Partners, LP for development of a single-family dwelling development subdivision in the ETJ (extraterritorial jurisdiction) to be known as Fulton Beach Landings, Unit 1—located at 2261 N. Fulton Beach Road.
8. Adjournment.

Special Accommodations

This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's office at (361) 729-2213 ext. 225 or fax (361) 790-5966 or e-mail citysec@cityofrockport.com for further information. Braille is not available.

Certification

I certify that the above notice of meeting was posted on the bulletin board at the Rockport Service Center, 2751 State Highway 35 Bypass, Rockport, Texas, on **December __**, 2020, by 5:00 p.m. and on the City's website at www.cityofrockport.com. I further certify that the following News Media were properly notified of this meeting as stated above: *The Rockport Pilot* and *Corpus Christi Caller Times*.

Teresa Valdez, City Secretary

PLANNING & ZONING COMMISSION MINUTES

On this the 16th day of November 2020, the Planning and Zoning Commission of the City of Rockport held a meeting at 5:30 p.m. The meeting was held using the video conferencing application ZOOM. No in-person meeting was held at the Rockport Service Center. A temporary suspension of the Open Meetings Act to allow telephone or video conference public meeting has been granted by Governor Greg Abbott. These actions are being taken to mitigate the spread of COVID-19 by avoiding meetings that bring people into a group setting and in accordance with Section 418.016 of the Texas Government Code.

Members Present

Maynard Green – Vice Chairman
Diana Severino-Saxon – Secretary
Kim Hesley
Ric Young

Members Absent

Ruth Davis –Chair (EX)
Warren Hassinger – (EX)
Kent Howard – (EX)

Staff Members Present

Mike Donoho, Director Building and Development
Amanda Torres, Community Planner
Mary Bellinger, Assistant to Director
J D Villa – Liaison

Guest(s) Present

Two (2)

Call to Order

1. Called meeting to order at approximately 5:30 p.m.
2. Deliberate and act on approval of the regular meeting minutes of August 10, 2020 and October 5, 2020.

Vice Chairman Green asked for a motion to accept the August 10, 2020 and October 5, 2020. Secretary Severino-Saxon moved to accept the August 10, 2020 and October 5, 2020 minutes with a correction. Member Young seconded the motion. All voted in favor.

3. Deliberate and act on a request to rezone property located at 1125 West Market Street; also known as Lot 8-R, Block 4, West Terrace Subdivision Unit 1, City of Rockport, Aransas County, Texas; to B-1 (General Business District) to add additional storage spaces to an existing business; currently zoned R-1 (1st Single Family Dwelling District)

Community Planner Amanda Torres spoke.

After a brief discussion Vice Chairman Green asked if there were any other questions or comments. Hearing none, Vice Chairman Green asked for a motion.

MOTION:

Member Hesley moved to accept the request to rezone property located at 1125 West Market Street, B-1 (General Business District). Member Young seconded the motion. With all members voting in favor and no one opposed - motion carried unanimously.

4. Deliberate and act on a request to rezone property located at 1211 Smokehouse Road; also known as Lot 13-AR, Block 247, Swickheimer Subdivision, City of Rockport, Aransas County, Texas; to R-2M (Manufactured Housing District) to allow for the placement of a manufactured home; currently zoned R-1 (1st Single Family Dwelling District).

Property owner Daniel and Alice Gelzaines spoke.
Community Planner Amanda Torres spoke.

After a brief discussion Vice Chairman Green asked if there were any other questions or comments. Hearing none, Vice Chairman Green asked for a motion.

MOTION:

Secretary Severino-Saxon moved to accept the request to rezone property located at 1211 Smokehouse Road, R-2M (Manufactured Housing District). Member Young seconded the motion. With all members voting in favor and no one opposed - motion carried unanimously.

Community Planner Amanda Torres indicated the Planning and Zoning Commission will make recommendation for rezone to City Council on December 8th, 2020.

Adjournment

There being no further business, Vice Chairman Green adjourned the meeting at approximately 5:47 p.m.

Prepared By:

Mary Bellinger, Assistant to Director

Approved By:

Maynard Green, Vice Chairman

Diana Severino-Saxon, Secretary

PLANNING & ZONING AGENDA
Regular Meeting: Monday, December 14, 2020

AGENDA ITEM:

Deliberate and act on a request to rezone property located at 607 South Church Street; also known as the south 35 feet of Lot 2, all of Lot 3, and the north half of Lot 4, Block 61, Mathis Subdivision, City of Rockport, Aransas County, Texas, to R-2 (2nd Single Family Dwelling District) to preserve residential feel of neighborhood; currently zoned B-1 (General Business District).

SUBMITTED BY: Community Planner Amanda Torres

APPROVED FOR AGENDA:

BACKGROUND:

Property owner Blanco Ventures has submitted an application seeking a request to rezone property located at 607 South Church Street; also known as the south 35 feet of Lot 2, all of Lot 3, and the north half of Lot 4, Block 61, Mathis Subdivision, City of Rockport, Aransas County, Texas, to R-2 (2nd Single Family Dwelling District) to preserve residential feel of neighborhood; currently zoned B-1 (General Business District). The property owners own this property as well as the adjacent Mathis House and would like to protect the adjacent property by down-zoning the property as shown in the request.

A public notice regarding this item was published in The Rockport Pilot in the Saturday, November 21, 2020 edition and mailed out to nineteen property owners within a 200-foot radius of the property. One letter in favor (from the applicant) has been received. A Joint Public Hearing was held on Tuesday, December 8.

Please see the accompanying zoning change request application and Section 118-7 of Code of Ordinances for detail information.

FISCAL ANALYSIS: N/A

RECOMMENDATION: Staff recommends that the Planning & Zoning Commission recommends to Council approval of the request to rezone property located at 607 South Church Street; also known as the south 35 feet of Lot 2, all of Lot 3, and the north half of Lot 4, Block 61, Mathis Subdivision, City of Rockport, Aransas County, Texas, to R-2 (2nd Single Family Dwelling District) to preserve residential feel of neighborhood; currently zoned B-1 (General Business District).

STAFF REPORT

Building & Development Services | Amanda Torres, Community Planner
2751 SH 35 Bypass, Rockport, TX 78362
Phone: (361) 790-1125, x. 226 | Email: communityplanner@cityofrockport.com



PROPERTY ADDRESS/LOCATION
607 S Church

APPLICANT/PROPERTY OWNER
Blanco Ventures

PUBLIC HEARING DATE
Tuesday, December 8, 2020

P&Z DATE
Monday, December 14, 2020

CITY COUNCIL DATE(S)
1st Reading - Tuesday, January 12, 2021
2nd Reading - Tuesday, January 26, 2021

BRIEF SUMMARY OF REQUEST

Applicant would like to change the zoning to a more restrictive, residential zoning district, R-2 2nd Single Family Dwelling District, in order to preserve the residential feel of the neighborhood. It is currently zoned B-1 General Business. The property is currently undeveloped.

A public notice regarding this item was published in The Rockport Pilot in the Saturday, November 21, 2020 edition and mailed out to nineteen property owners within a 200-foot radius of the property. One letter in favor (from the applicant) has been received. A Joint Public Hearing was held on Tuesday, December 8.



MAP SOURCE: Pictometry

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS	SIZE OF PROPERTY
B-1 General Business	Undeveloped	North: B-1 General Business, former Appraisal District building South: R-2 2 nd Single-Family Dwelling, residence East: B-1 General Business, former business West: B-1 General Business, former cottages	None requested	0.4167 acres

STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

COMPATIBILITY with the ZONING ORDINANCE & FUTURE LAND USE MAP

Any future development will meet all setback requirements of the R-2 2nd Single Family Dwelling District if approved.

The 2011 Future Land Use Map indicates this area as Residential.

PROPERTY HISTORY

Compatibility with the planned development (or other controlling documents); traffic/parking; public works/utilities; engineering/flood plain/soil; building code/fire or design

The property is not within the Special Flood Hazard Area. If developed, the parcel would have to conform to all requirements listed in the Residential Plan Checklist.

ATTACHMENTS
(CIRCLE)

SUBMITTED PLANS

**PUBLIC HEARING PETITION/
APPLICATION FORM**

LEGAL NOTICE

LEGAL DESCRIPTION

PUBLIC COMMENTS

AGENCY COMMENTS

RESPONSE TO STANDARDS

OTHER (DESCRIBE)

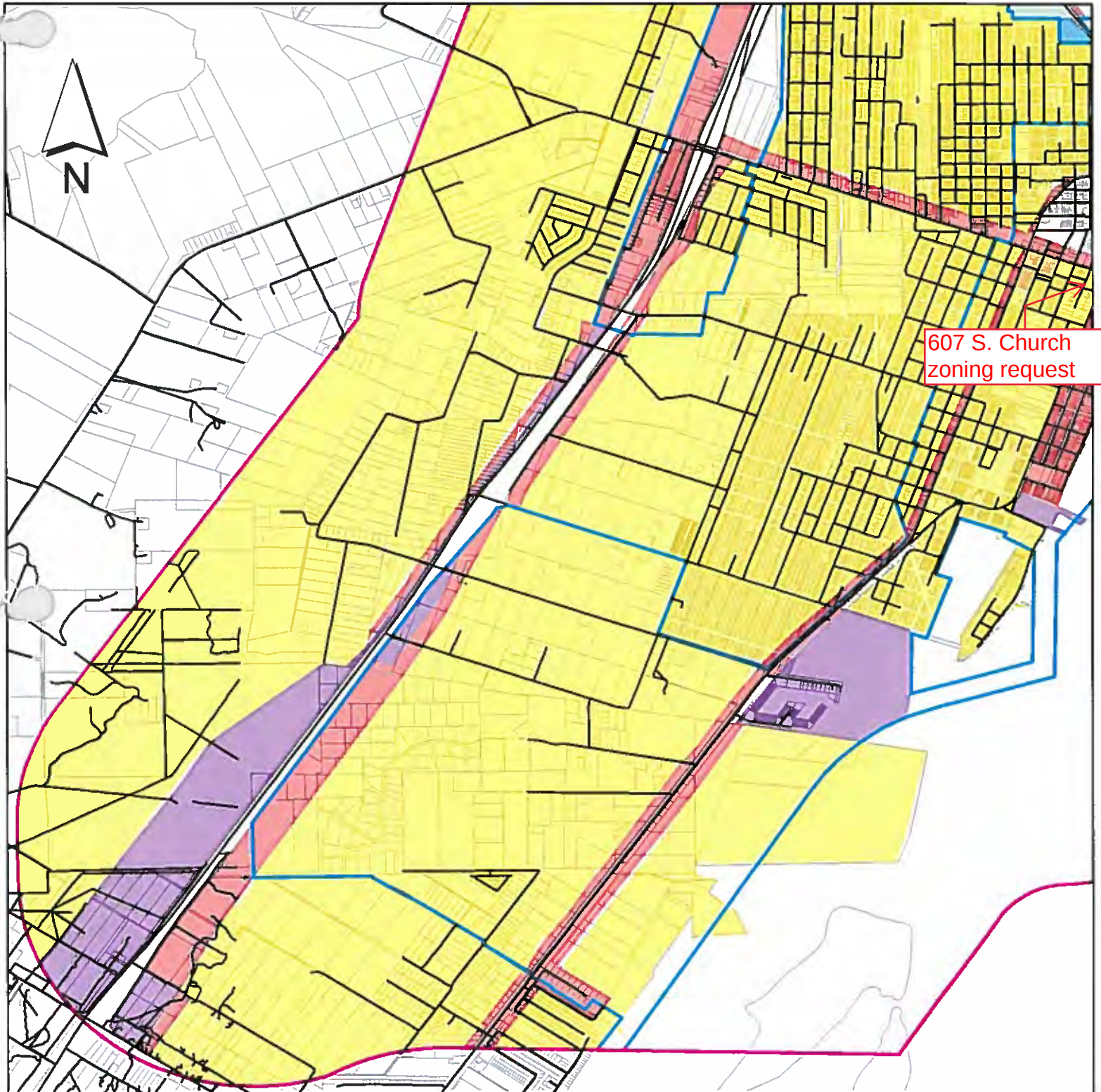






City of Rockport, Texas Study Area

Future Land Use Map: Exhibit A



Legend

- | | | |
|----------------------|--------------------------|-----------------------|
| Rockport ETJ | Commercial/Business | Parks and Green Space |
| Rockport City Limits | Industrial | Public |
| Roads | Low Density Residential | Aransas Parcels |
| | Multi-family Residential | |

Article I. Zoning Ordinance*

Sec. 118-7. R-2 2nd Single-Family Dwelling District.

7.1 *Use Regulations.* The purpose of this district is to provide a residential district with smaller lot sizes in keeping with established standards in certain parts of the city, but which will provide the same residential environment as the 1st Single-Family Dwelling District. Land and premises may be used only for:

1. Uses 1 through 8 in an R-1 district.

7.2 *Area and Yard Regulations.*

7.2.1 *Area of the Lot.* The minimum area of the lot shall be five thousand (5,000) square feet. See Article 20 [[section 118-20](#)].

7.2.2 *Width of the Lot.* The minimum width of the lot shall be fifty (50) feet. See [[section 118-20](#)] Table 20.

7.2.3 *Area of the Dwelling.* The minimum living area of the dwelling shall be six hundred (600) square feet. See [[section 118-20](#)] Table 20.

7.2.4 *Yard Area and Building Setbacks.* See [[section 118-20](#)] Table 20.

7.3 *Height of the Building.* No building shall exceed thirty five (35) feet in height. See Article 3 [[section 118-3](#)] Definitions and Article 20 [[section 118-20](#)].

7.4 *Parking Regulations.* Parking regulations for permitted uses as contained in Article 21 [[section 118-21](#)].

7.5 *Accessory Use Regulations.* Accessory uses, which are auxiliary or incidental to the primary use of a building or premises, as contained in Article 22 [[section 118-22](#)].

(Ord. No. 1027, art. 7, 4-9-96)



**CITY OF ROCKPORT
ZONING AND LAND DEVELOPMENT APPLICATION**

INSTRUCTION: Please fill out completely. If more space is needed, attach additional pages. Please print or use typewriter.

- A. REQUESTING: Rezoning ☒ Conditional Permit ☐
Planned Unit Development (P.U.D.) by Conditional Permit ☐
- B. ADDRESS AND LOCATION OF PROPERTY 607 S Church St. Rockport Tx 78382
- C. CURRENT ZONING OF PROPERTY: General Business
- D. PRESENT USE OF PROPERTY: Vacant Land
- E. ZONING DISTRICT REQUESTED: Residential
- F. CONDITIONAL USE REQUESTED: Residents
- G. LEGAL DESCRIPTION: (Fill in the one that applies)
- Lot or Tract S/35' of 2, All 3, N/2 of 4 Block 61
 - Tract Mathis of the _____
Survey as per metes and bounds (field notes attached)
 - If other, attach copy of survey or legal description from the Records of Aransas County or Appraisal District.
- H. NAME OF PROPOSED DEVELOPMENT (if applicable) N/a
- I. TOTAL ACREAGE OR SQ. FT. OF SITE(S): 18150 sq Ft
- J. REASON FOR REQUEST AND DESCRIPTION OF DEVELOPMENT:
(Please be specific)

To preserve residential feel of the neighborhood
and have new construction similar.
The historic Mathis House is located next
door to this lot.

K. OWNER'S NAME: (Please print) Blanco Ventures LTD *Josephine Fauers*
ADDRESS: ~~504 No. Moody Ave~~ 139 MT ERIN PASS *Walter Bain*
CITY, STATE, ZIP CODE: San Antonio, TX ~~78205-4118~~ 78212 *Robert Bain*
PHONE NO 210-859-2942

L. REPRESENTATIVE: (If Other Than Owner) _____
ADDRESS: _____
CITY, STATE, ZIP CODE: _____
PHONE NO _____

NOTE: Do you have property owner's permission for this request?

YES X NO _____

M. FILING FEE:

✓ REZONING	\$150.00 + \$10.00 PER ACRE
PLANNED UNIT DEVELOPMENT	\$200.00 + \$10.00 PER ACRE
P.U.D. REVISION	\$200.00 + \$10.00 PER ACRE
CONDITIONAL PERMIT	\$150.00 + \$10.00 PER ACRE

(Make check payable to the City of Rockport)

- Submit application and filing fee to the Department of Building & Development, City of Rockport; 2751 S.H. 35 Bypass, Rockport, Texas 78382.

Signed: *Josephine Fauers*
(Owner or Representative)

(FOR CITY USE)

Received by: _____ Date: _____ Fees Paid: \$ _____

Submitted Information (_____ accepted) (_____ rejected) by: _____

If rejected, reasons why: _____

Receipt No. _____



JOINT PUBLIC HEARING Rockport City Council and Planning & Zoning Commission

NOTICE is hereby given that the Rockport City Council and the Planning & Zoning Commission will hold a Joint Public Hearing on Tuesday, December 8, 2020, at 6:30 p.m., to consider a request to rezone property located at 607 South Church Street; also known as the south 35 feet of Lot 2, all of Lot 3, and the north half of Lot 4, Block 61, Mathis Subdivision, City of Rockport, Aransas County, Texas, to R-2 (2nd Single Family Dwelling District) to preserve residential feel of neighborhood; currently zoned B-1 (General Business District).

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SCAN ME

Due to the COVID-19 pandemic, the attorney general has said: “statutes that may be interpreted to require face-to-face interaction between members of the public and public officials are suspended; provided, however, that the governmental bodies must offer alternative methods of communicating with their public officials.” Public participation is valued and citizens wishing to express their views on any topic or agenda item can either electronically submit a citizen participation form in order to register to speak by going to <https://rockport.seamlessdocs.com/f/CouncilCitizenParticipation> or scanning the QR code to the right. Using the same form, citizens can also provide written comments to the City Secretary by 4:00 p.m. on the day of the meeting. The Mayor will read the comments and they will be summarized in the minutes of the meeting.



SCAN ME

The City encourages citizens to participate and make their views known at this Public Hearing. For further information on this request, please contact the Building Department at (361) 790-1125.

POSTED the 18th day of November 2020 at 4:30 p.m., on the bulletin board at the Rockport Service Center, 2751 State Highway 35 Bypass, Rockport, Texas, and on the website www.cityofrockport.com.

PUBLISHED in *The Rockport Pilot* in the Saturday, November 21, 2020, Edition, in accordance with the City of Rockport Code of Ordinances.

CITY OF ROCKPORT, TEXAS


Teresa Valdez, City Secretary

<u>Property ID</u>	<u>Property Owner</u>	<u>Situs Address</u>	<u>Mailing Address</u>	<u>City</u>	<u>State</u>	<u>ZIP</u>
18595	Charlyne S Taylor	702 E Market	P.O. Box 533	Rockport	TX	78381-0533
18594	Elite Exterminating	722 E Market	2101 Saratoga Blvd	Corpus Christi	TX	78417-3406
57341	James T Godfrey	802 E Market	802 E Market	Rockport	TX	78382-2534
17675	First United Methodist Church of Rockpor	810 E Market	801 Main Street	Rockport	TX	78382-2629
28057	Daniel Jimenez	602 S Pearl	140 N Arch	Aransas Pass	TX	78336-2019
28053	Elite Exterminating	601 S Church	2101 Saratoga Blvd	Corpus Christi	TX	78417-3406
28054*	Blanco Ventures Ltd	607 S Church	139 Mt Erin Pass	San Antonio	TX	78212
28055	Josephine B Fauerso etal	615 S Church	139 Mt Erin Pass	San Antonio	TX	78212-2542
28056	Hagan Family Ltd	629 S Church	318 Forest Lake Dr	Seabrook	TX	77586-5104
17729	Lo-Tsen "Squeeky" Luce	801 E Market	P.O. Box 2092	Rockport	TX	78381-2092
17730	Mary E Wilson	612 S Church	3101 Wisteria Dr	Mission	TX	78574-2075
17731	Mary E Wilson	616 S Church	3101 Wisteria Dr	Mission	TX	78574-2075
70753	Michael D Auten	626 S Church	405 SW 17th St	Blue Springs	MO	64015-4101
58205	Domingo Hernandez Jr.	815 E Market	815 E Market	Rockport	TX	78382-2533
59452	James & Maria Wilkinson	609 S Live Oak	1718 Spanish Wls	San Antonio	TX	78245-4489
59453	Jesus & Shirley Gonzales	611 S Live Oak	5311 Cynthia Linn	San Antonio	TX	78233-2214
17725	Barry & Debra Brooks	621 S Live Oak	621 S Live Oak	Rockport	TX	78382-2521
17726	William R Erickson Jr.	625 S Live Oak	202 White Blvd	Ocean Springs	MS	39564-5046
17728	Tanya Houston	629 S Live Oak	P.O. Box 148	Cascade	MT	59421-0148



JOINT PUBLIC HEARING
Rockport City Council and
Planning & Zoning Commission

Tues. Dec. 8

NOTICE is hereby given that the Rockport City Council and the Planning & Zoning Commission will hold a Joint Public Hearing on Tuesday, November 10, 2020, at 6:30 p.m., to consider a request to rezone property located at 607 S Church Street; also known as the south 35 feet of Lot 2, all of Lot 3, and the north half of Lot 4, Block 61, Mathis Subdivision, City of Rockport, Aransas County, Texas; to R-2 (2nd Single Family Dwelling District) to preserve residential feel of neighborhood; currently zoned B-1 (General Business District).

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The City encourages citizens to participate and make their views known at this Public Hearing. For further information on this request, please contact the Building Department at (361) 790-1125.

CITY OF ROCKPORT, TEXAS

/s/ Teresa Valdez, City Secretary

TO BE ON RECORD, THIS FORM MUST BE FILLED OUT, SIGNED BY THE CURRENT PROPERTY OWNER(S) AND MAILED IN ITS ENTIRETY TO THE BUILDING & DEVELOPMENT SERVICES DEPARTMENT, 2751 STATE HIGHWAY 35 BYPASS, ROCKPORT, TX 78382. ANY INFORMATION PROVIDED BELOW BECOMES PUBLIC RECORD.

NOTE: In accordance with the Open Meetings Act and Public Information Act, no discussion shall be held by a member or members of this Commission, either at home or office, or in person, by telephone call or by letter.

Printed Name: Josephine Bain Fauerso
Address: 139 Mount Erin Pass City/State: SAN ANTONIO, TX
☒ IN FAVOR () IN OPPOSITION Phone: 210 859-294278212

REASON:

Preserve Residential
Feeling
Josephine Bain Fauerso
Signature
See map on reverse side.

ZONING CASE: 607 S. CHURCH
JOINT PUBLIC HEARING SUMMARY
DECEMBER 8, 2020

1. **Charlene S. Taylor, 702 E. Market:** Ms. Taylor submitted a comment saying that she was in opposition.
2. **Jim Godfrey & George Riekers, 802 E. Market:** Mr. Riekers and Mr. Godfrey stated they were in opposition. They said this would not preserve residential feel of the neighborhood given that it is next commercial zoned property. This would amount to spot zoning and residential uses are allowed in the General Business zone. Therefore, there is no need to rezone.
3. **Josephine Fauerso (applicant):** The applicant explained that the request was to protect the Mathis House adjacent to the property. It is one of the very oldest homes in Rockport and has a Texas Historical Commission marker. It is very important to protect the integrity of that house and the current zoning would allow anything to be put there.

PLANNING & ZONING AGENDA
Regular Meeting: Monday, December 14, 2020

AGENDA ITEM:

Deliberate and act on a request to rezone property located at 1123 West Market Street; also known as Lot 7 and Lots 16-20, Block 4, West Terrace Subdivision Unit 1, City of Rockport, Aransas County, Texas; to B-1 (General Business District) to bring land use into a conforming zoning district; currently zoned R-1 (1st Single Family Dwelling District).

SUBMITTED BY: Community Planner Amanda Torres

APPROVED FOR AGENDA:

BACKGROUND: Property owners Floyd & Brenda Clark have submitted an application seeking a request to rezone property located at 1123 West Market Street; also known as Lot 7 and Lots 16-20, Block 4, West Terrace Subdivision Unit 1, City of Rockport, Aransas County, Texas; to B-1 (General Business District) to bring land use into a conforming zoning district; currently zoned R-1 (1st Single Family Dwelling District). This property was annexed into the City of Rockport in 2016 and had its business on the location prior to annexation.

A public notice regarding this item was published in The Rockport Pilot in the Saturday, November 21, 2020 edition and mailed out to twenty property owners within a 200-foot radius of the property. Two letters for (from the applicants) and one letter against the request have been received. A Joint Public Hearing was held on Tuesday, December 8.

Please see the accompanying zoning change request application and Section 118-15 of Code of Ordinances for detail information.

FISCAL ANALYSIS: N/A

RECOMMENDATION: Staff recommends that the Planning & Zoning Commission recommends to Council approval of the request to rezone property located at 1123 West Market Street; also known as Lot 7 and Lots 16-20, Block 4, West Terrace Subdivision Unit 1, City of Rockport, Aransas County, Texas; to B-1 (General Business District) to bring land use into a conforming zoning district; currently zoned R-1 (1st Single Family Dwelling District).

STAFF REPORT

Building & Development Services | Amanda Torres, Community Planner
2751 SH 35 Bypass, Rockport, TX 78362
Phone: (361) 790-1125, x. 226 | Email: communityplanner@cityofrockport.com



PROPERTY ADDRESS/LOCATION

1123 W Market

APPLICANT/PROPERTY OWNER

Floyd & Brenda Clark

PUBLIC HEARING DATE

Tuesday, December 8, 2020

P&Z DATE

Monday, December 14, 2020

CITY COUNCIL DATE(S)

1st Reading - Tuesday, January 12, 2021

2nd Reading - Tuesday, January 26, 2021

BRIEF SUMMARY OF REQUEST

Applicant would like to change the zoning to correspond with its existing land use. It is currently zoned R-1 1st Single Family Dwelling District. The property has an existing business. The property was annexed and therefore currently zoned R-1 (1st Single Family Residential District) due to annexation that was previously done. There are businesses next door and across the street.

A public notice regarding this item was published in The Rockport Pilot in the Saturday, November 21, 2020 edition and mailed out to twenty property owners within a 200-foot radius of the property. Two letters for (from the applicants) and one letter against the request have been received. A Joint Public Hearing was held on Tuesday, December 8.



MAP SOURCE: Pictometry

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS	SIZE OF PROPERTY
R-1 1 st Single Family Dwelling District	Business	North: R-1 1 st Single-Family Dwelling, businesses, undeveloped South: outside city limits, single family residences East: R-1 1 st Single-Family Dwelling, businesses West: R-1 1 st Single-Family Dwelling, businesses	None requested	1.9014 acres

STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

COMPATIBILITY with the ZONING ORDINANCE & FUTURE LAND USE MAP

Any future development will meet all setback requirements of the B-1 General Business District if approved.

The 2011 Future Land Use Map indicated the south side of Market Street as residential. However, existing land uses along this stretch have been commercial.

PROPERTY HISTORY

Compatibility with the planned development (or other controlling documents); traffic/parking; public works/utilities; engineering/flood plain/soil; building code/fire or design

The property is not within the Special Flood Hazard Area. Commercial plans including parking, drainage, building design, etc. will need to conform to the approved zoning district, if zoning is approved.

The property in question was annexed by the City of Rockport in 2016. Because this property was incorporated into the city as part of an annexation, this and surrounding properties were designated as R-1 (1st Single Family Dwelling District) in accordance to the City's zoning policy for newly annexed territory (City of Rockport Code of Ordinances, Chapter 118 Zoning, Article 5 Newly Annexed Territory).

ATTACHMENTS
(CIRCLE)

SUBMITTED PLANS

**PUBLIC HEARING PETITION/
APPLICATION FORM**

LEGAL NOTICE

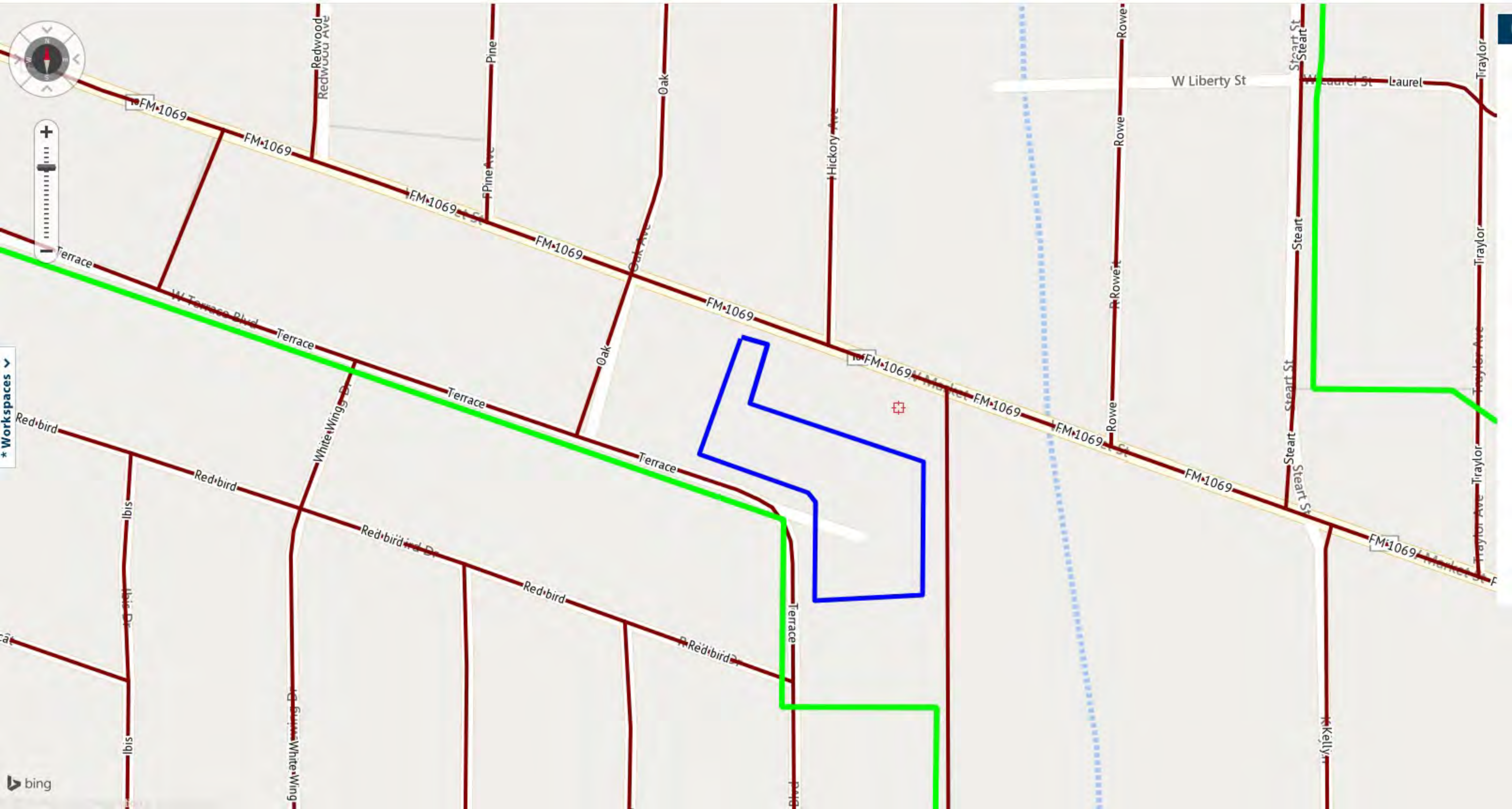
LEGAL DESCRIPTION

PUBLIC COMMENTS

AGENCY COMMENTS

RESPONSE TO STANDARDS

OTHER (DESCRIBE)





1069

FM 1069 Market St

FM 1069

1069

W FM 1069

FM 1069

Oak Ave

W Terrace Blvd
Terrace

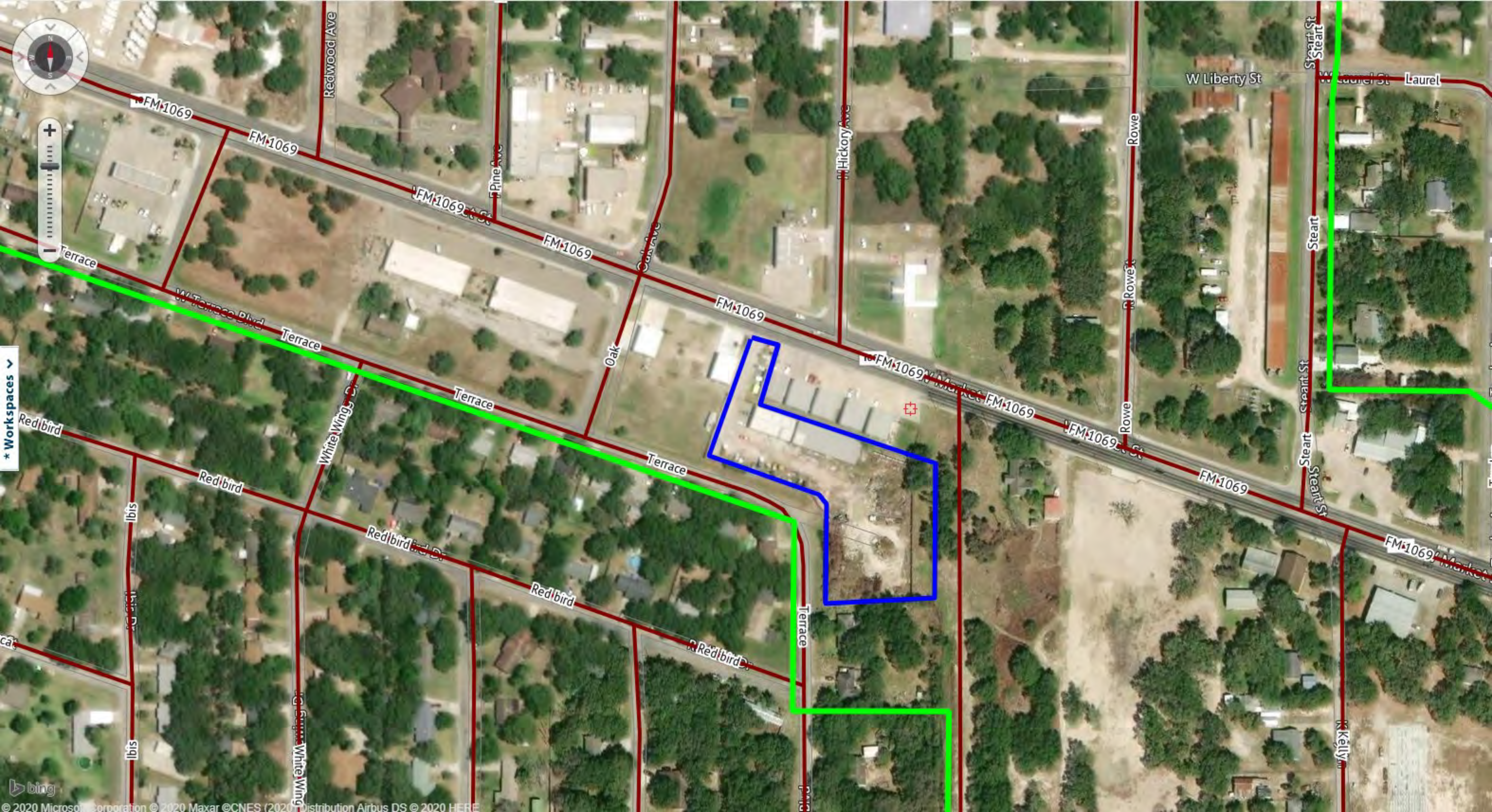
W Terrace Blvd

Terrace

Redbird Dr

Redbird

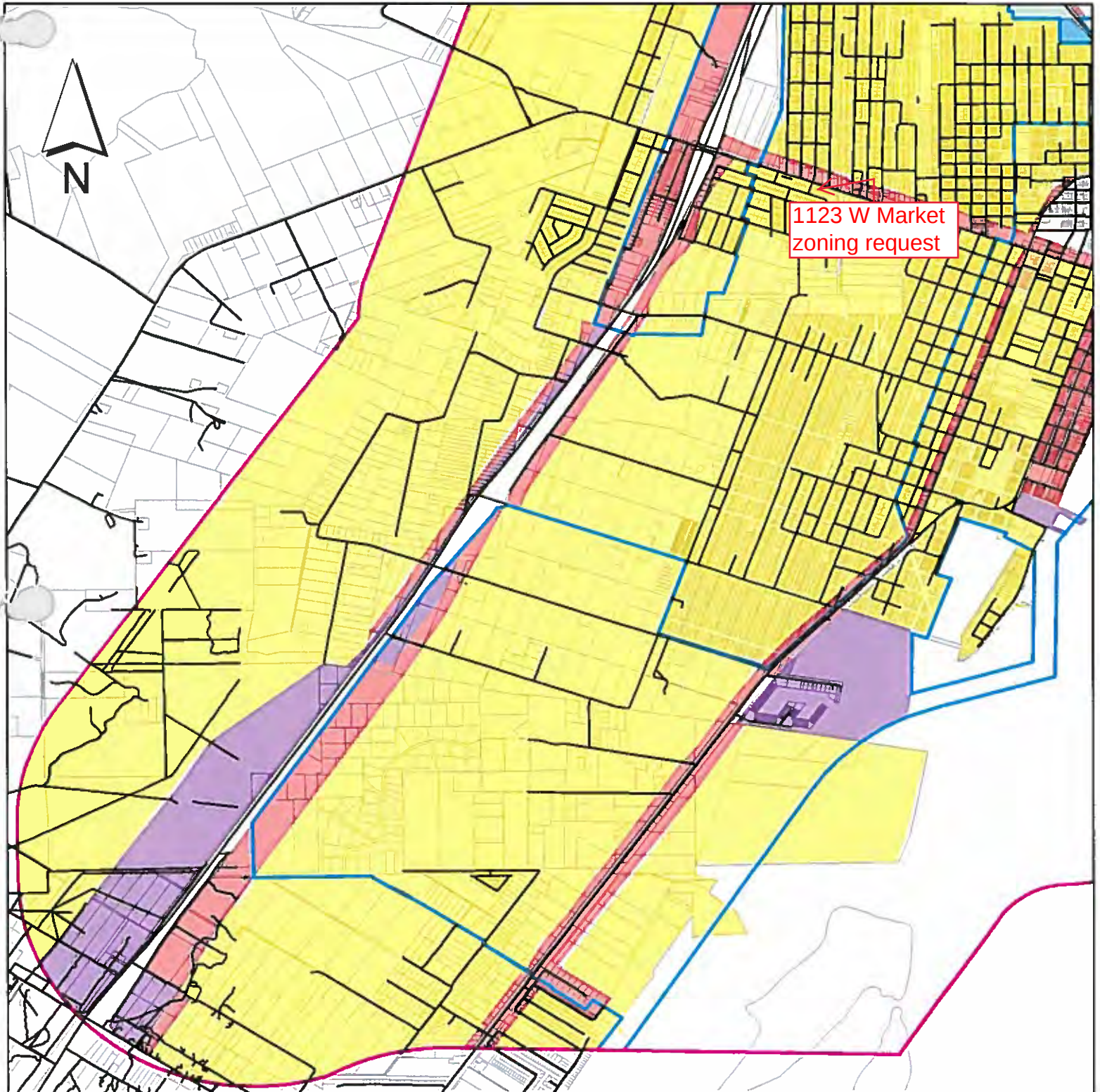
Sea Seagull



* Workspaces v

City of Rockport, Texas Study Area

Future Land Use Map: Exhibit A



Legend

- | | | |
|----------------------|--------------------------|-----------------------|
| Rockport ETJ | Commercial/Business | Parks and Green Space |
| Rockport City Limits | Industrial | Public |
| Roads | Low Density Residential | Aransas Parcels |
| | Multi-family Residential | |

Article I. Zoning Ordinance*

Sec. 118-15. B-1 General Business District.

15.1 *Use Regulations.* The purpose of this district is to provide suitable locations for a wide variety of business and mercantile uses. In addition to the previous listed uses in R-1 through R-7 districts, land and premises may be used for:

1. Restaurants, cafes, food catering services.
2. Offices, banks, libraries, museums, etc.
3. Service stations, car washes, laundromats.
4. Malls, shopping centers, retail stores.
5. Shops (butcher shops, shoe shops, shell shops, etc., including pawn shops that have been licensed to transact business by the Consumer Credit Commissioner under Chapter 371, Finance Code).
6. Grocery stores, convenience stores, markets.
7. Retail markets (seafood/meat) and bait stands.
8. Entertainment facilities (theaters, bowling alleys, pool halls, clubs and lounges, etc.
9. Sales, service and repair shops (radio, television, shoe repair, tool repair and rental, lawn mower repair, auto and boat repair shops, etc).
10. Personal service shops (beauty salons, barber shops, tailoring and dressmaking shops, etc).
11. Storage buildings, auto storage yards.
12. Animal hospitals, boarding kennels and grooming shops.
13. Mortuaries and funeral homes.
14. Agricultural services, greenhouses and landscaping services.
15. Outdoor welding, fabricating operations, by CUP.
16. Permanent or long term (more than 30 days) public entertainment facilities or uses, by CUP. Such uses may include, but not be limited to, amusement parks, carnivals, circuses, marine life shows, dance/theatrical productions and natatoriums.
17. Fish houses, seafood processing plants, by CUP.
18. Adult entertainment, by CUP.

15.2 *Area and Yard Regulations.*

15.2.1 *Area of the Lot.* None required for non-dwelling uses. For dwelling uses, See [[section 118-20](#)] Table 20.

15.2.2 *Width of the Lot.* The minimum width of the lot shall be fifty (50) feet. See [[section 118-20](#)] Table 20.

15.2.3 *Area of the Building.* For a primary use structure, the minimum floor area shall be five hundred (500) square feet. See [[section 118-20](#)] Table 20.

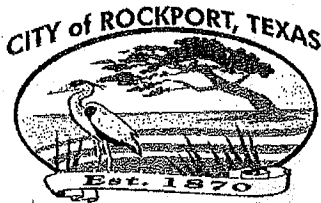
15.2.4 *Yard Area and Building Setbacks.* See [[section 118-20](#)] Table 20

15.3 *Height of the Building.* No building shall exceed forty five (45) feet in height. See Article 3 [[section 118-3](#)] Definitions and Article 20 [[section 118-20](#)].

15.4 *Parking Regulations.* Parking regulations for permitted uses as contained in Article 21 [[section 118-21](#)].

15.5 *Accessory Use Regulations.* Accessory uses, which are auxiliary or incidental to the primary use of a building or premises, as contained in Article 22 [[section 118-22](#)].

(Ord. No. 1027, art. 15, 4-9-96)



CITY OF ROCKPORT
ZONING AND LAND DEVELOPMENT APPLICATION

INSTRUCTION: Please fill out completely. If more space is needed, attach additional pages. Please print or use typewriter.

A. REQUESTING: Rezoning ☒ Conditional Permit ☐
Planned Unit Development (P.U.D.) by Conditional Permit ☐

B. ADDRESS AND LOCATION OF PROPERTY 1123 W. MARKET ST. Rockport, TX. 78382

C. CURRENT ZONING OF PROPERTY: R-1

D. PRESENT USE OF PROPERTY: Construction Office + Yard

E. ZONING DISTRICT REQUESTED: B-1

F. CONDITIONAL USE REQUESTED: _____

G. LEGAL DESCRIPTION: (Fill in the one that applies)

• Lot or Tract Lot 7 and Lots 16 thru 20 Block 4

• Tract West Terrace Unit 1 of the _____
Survey as per metes and bounds (field notes attached)

• If other, attach copy of survey or legal description from the Records of Aransas County or Appraisal District.

H. NAME OF PROPOSED DEVELOPMENT (if applicable) _____

I. TOTAL ACREAGE OR SQ. FT. OF SITE(S): 1.9014 AC.

J. REASON FOR REQUEST AND DESCRIPTION OF DEVELOPMENT:
(Please be specific)

Reason For requesting change in zoning
is because this property was built and
used as it is being used now since
1986. The city took us into the city limits
1 week before Hurricane Harvey hit and the city takes

K. OWNER'S NAME: (Please print) Floyd Clark
ADDRESS: 760 Sunset DR.
CITY, STATE, ZIP CODE: Rockport TX. 78382
PHONE NO cell # 361-230-0542 -office 361-729-2488

L. REPRESENTATIVE: (If Other Than Owner) _____
ADDRESS: _____
CITY, STATE, ZIP CODE: _____
PHONE NO _____

NOTE: Do you have property owner's permission for this request?

YES ☒ NO ☐

M. FILING FEE:

REZONING	\$150.00 + \$10.00 PER ACRE
PLANNED UNIT DEVELOPMENT	\$200.00 + \$10.00 PER ACRE
P.U.D. REVISION	\$200.00 + \$10.00 PER ACRE
CONDITIONAL PERMIT	\$150.00 + \$10.00 PER ACRE

(Make check payable to the City of Rockport)

- Submit application and filing fee to the Department of Building & Development, City of Rockport; 2751 S.H. 35 Bypass, Rockport, Texas 78382.

Signed: _____

(Owner or Representative)

(FOR CITY USE)

Received by: _____ Date: _____ Fees Paid: \$ _____

Submitted Information (_____ accepted) (_____ rejected) by: _____

If rejected, reasons why: _____

Receipt No. _____

Property

Account			
Property ID:	34999	Legal Description:	WEST TERRACE UNIT 1, BLOCK 4, LOT 7
Geographic ID:	6324-004-007-000	Zoning:	
Type:	Real	Agent Code:	
Property Use Code:			
Property Use Description:			
Location			
Address:	1123 W MARKET ST ROCKPORT, TX 78382	Mapscsco:	
Neighborhood:		Map ID:	A-2
Neighborhood CD:			
Owner			
Name:	CLARK FLOYD E ETUX BRENDA K	Owner ID:	63763
Mailing Address:	760 SUNSET DRIVE ROCKPORT, TX 78382-7024	% Ownership:	100.000000000000%
		Exemptions:	

Values

(+) Improvement Homesite Value:	+	\$0	
(+) Improvement Non-Homesite Value:	+	\$0	
(+) Land Homesite Value:	+	\$0	
(+) Land Non-Homesite Value:	+	\$15,170	Ag / Timber Use Value
(+) Agricultural Market Valuation:	+	\$0	\$0
(+) Timber Market Valuation:	+	\$0	\$0

(=) Market Value:	=	\$15,170	
(-) Ag or Timber Use Value Reduction:	-	\$0	

(=) Appraised Value:	=	\$15,170	
(-) HS Cap:	-	\$0	

(=) Assessed Value:	=	\$15,170	

Taxing Jurisdiction

Owner: CLARK FLOYD E ETUX BRENDA K
% Ownership: 100.000000000000%
Total Value: \$15,170

Entity	Description	Tax Rate	Appraised Value	Taxable Value	Estimated Tax		
CAD	ARANSAS COUNTY APPRAISAL DISTRICT	0.000000	\$15,170	\$15,170	\$0.00		
CRO	CITY OF ROCKPORT	0.421311	\$15,170	\$15,170	\$63.91		
GAR	ARANSAS COUNTY	0.360785	\$15,170	\$15,170	\$54.73		
NVD	NAVIGATION DIST	0.049776	\$15,170	\$15,170	\$7.56		

10/30/2020

Aransas CAD - Property Details

SAR	ARANSAS CO ISD	0.980300	\$15,170	\$15,170	\$148.72
XSP	COUNTY ROAD & FLOOD	0.072758	\$15,170	\$15,170	\$11.04
Total Tax Rate:		1.884930			
				Taxes w/Current Exemptions:	\$285.96
				Taxes w/o Exemptions:	\$285.94

Improvement / Building

No improvements exist for this property.

Land

#	Type	Description	Acres	Sqft	Eff Front	Eff Depth	Market Value	Prod. Value
1	RL	RESIDENTIAL	0.1339	5833.00	50.00	116.68	\$15,170	\$0

Roll Value History

Year	Improvements	Land Market	Ag Valuation	Appraised	HS Cap	Assessed
2021	N/A	N/A	N/A	N/A	N/A	N/A
2020	\$0	\$15,170	0	15,170	\$0	\$15,170
2019	\$0	\$15,170	0	15,170	\$0	\$15,170
2018	\$0	\$15,170	0	15,170	\$0	\$15,170
2017	\$0	\$15,170	0	15,170	\$0	\$15,170
2016	\$0	\$15,170	0	15,170	\$0	\$15,170
2015	\$0	\$15,170	0	15,170	\$0	\$15,170
2014	\$0	\$15,170	0	15,170	\$0	\$15,170
2013	\$0	\$15,170	0	15,170	\$0	\$15,170
2012	\$0	\$15,170	0	15,170	\$0	\$15,170
2011	\$0	\$15,170	0	15,170	\$0	\$15,170
2010	\$0	\$15,170	0	15,170	\$0	\$15,170
2009	\$0	\$15,170	0	15,170	\$0	\$15,170
2008	\$0	\$15,170	0	15,170	\$0	\$15,170
2007	\$0	\$15,170	0	15,170	\$0	\$15,170

Deed History - (Last 3 Deed Transactions)

#	Deed Date	Type	Description	Grantor	Grantee	Volume	Page	Deed Number
1	12/29/2004	WD	WARRANTY DEED	CLARK FLOYD E ETUX BRENDA K	CLARK FLOYD E ETUX BRENDA K			269815
2	10/30/1997	WDVL	WARRANTY DEED VENDOR'S LIEN	WAGLEY LUMBER CO INC	CLARK FLOYD E ETUX BRENDA K	216297	281507	0
3		CONV	CONVERSION	WAGLEY LUMBER CO	WAGLEY HOME CENTER			0

Tax Due

Property Tax Information as of 10/30/2020

Amount Due if Paid on: 

Year	Taxing Jurisdiction	Taxable Value	Base Tax	Base Taxes Paid	Base Tax Due	Discount / Penalty & Interest	Attorney Fees	Amount Due
2020	CITY OF ROCKPORT	\$15,170	\$63.91	\$0.00	\$63.91	\$0.00	\$0.00	\$63.91
2020	ARANSAS COUNTY	\$15,170	\$54.73	\$0.00	\$54.73	\$0.00	\$0.00	\$54.73
2020	NAVIGATION DIST	\$15,170	\$7.56	\$0.00	\$7.56	\$0.00	\$0.00	\$7.56
2020	ARANSAS CO ISD	\$15,170	\$148.72	\$0.00	\$148.72	\$0.00	\$0.00	\$148.72
2020	COUNTY ROAD & FLOOD	\$15,170	\$11.04	\$0.00	\$11.04	\$0.00	\$0.00	\$11.04

	2020 TOTAL:		\$285.96	\$0.00	\$285.96	\$0.00	\$0.00	\$285.96
2019	CITY OF ROCKPORT	\$15,170	\$63.72	\$63.72	\$0.00	\$0.00	\$0.00	\$0.00
2019	ARANSAS COUNTY	\$15,170	\$57.00	\$57.00	\$0.00	\$0.00	\$0.00	\$0.00
2019	NAVIGATION DIST	\$15,170	\$7.89	\$7.89	\$0.00	\$0.00	\$0.00	\$0.00
2019	ARANSAS CO ISD	\$15,170	\$156.25	\$156.25	\$0.00	\$0.00	\$0.00	\$0.00
2019	COUNTY ROAD & FLOOD	\$15,170	\$11.48	\$11.48	\$0.00	\$0.00	\$0.00	\$0.00
	2019 TOTAL:		\$296.34	\$296.34	\$0.00	\$0.00	\$0.00	\$0.00
2018	CITY OF ROCKPORT	\$15,170	\$68.56	\$68.56	\$0.00	\$0.00	\$0.00	\$0.00
2018	ARANSAS COUNTY	\$15,170	\$60.16	\$60.16	\$0.00	\$0.00	\$0.00	\$0.00
2018	NAVIGATION DIST	\$15,170	\$9.08	\$9.08	\$0.00	\$0.00	\$0.00	\$0.00
2018	ARANSAS CO ISD	\$15,170	\$176.57	\$176.57	\$0.00	\$0.00	\$0.00	\$0.00
2018	COUNTY ROAD & FLOOD	\$15,170	\$12.52	\$12.52	\$0.00	\$0.00	\$0.00	\$0.00
	2018 TOTAL:		\$326.89	\$326.89	\$0.00	\$0.00	\$0.00	\$0.00
2017	CITY OF ROCKPORT	\$15,170	\$58.50	\$58.50	\$0.00	\$0.00	\$0.00	\$0.00
2017	ARANSAS COUNTY	\$15,170	\$50.65	\$50.65	\$0.00	\$0.00	\$0.00	\$0.00
2017	NAVIGATION DIST	\$15,170	\$7.71	\$7.71	\$0.00	\$0.00	\$0.00	\$0.00
2017	ARANSAS CO ISD	\$15,170	\$176.57	\$176.57	\$0.00	\$0.00	\$0.00	\$0.00
2017	COUNTY ROAD & FLOOD	\$15,170	\$10.54	\$10.54	\$0.00	\$0.00	\$0.00	\$0.00
	2017 TOTAL:		\$303.97	\$303.97	\$0.00	\$0.00	\$0.00	\$0.00
2016	ARANSAS COUNTY	\$15,170	\$50.45	\$50.45	\$0.00	\$0.00	\$0.00	\$0.00
2016	NAVIGATION DIST	\$15,170	\$7.98	\$7.98	\$0.00	\$0.00	\$0.00	\$0.00
2016	ARANSAS CO ISD	\$15,170	\$177.41	\$177.41	\$0.00	\$0.00	\$0.00	\$0.00
2016	COUNTY ROAD & FLOOD	\$15,170	\$10.98	\$10.98	\$0.00	\$0.00	\$0.00	\$0.00
	2016 TOTAL:		\$246.82	\$246.82	\$0.00	\$0.00	\$0.00	\$0.00
2015	ARANSAS COUNTY	\$15,170	\$47.49	\$47.49	\$0.00	\$0.00	\$0.00	\$0.00
2015	NAVIGATION DIST	\$15,170	\$7.96	\$7.96	\$0.00	\$0.00	\$0.00	\$0.00
2015	ARANSAS CO ISD	\$15,170	\$175.36	\$175.36	\$0.00	\$0.00	\$0.00	\$0.00
2015	COUNTY ROAD & FLOOD	\$15,170	\$10.99	\$10.99	\$0.00	\$0.00	\$0.00	\$0.00
	2015 TOTAL:		\$241.80	\$241.80	\$0.00	\$0.00	\$0.00	\$0.00
2014	ARANSAS COUNTY	\$15,170	\$47.11	\$47.11	\$0.00	\$0.00	\$0.00	\$0.00
2014	NAVIGATION DIST	\$15,170	\$8.13	\$8.13	\$0.00	\$0.00	\$0.00	\$0.00
2014	ARANSAS CO ISD	\$15,170	\$175.38	\$175.38	\$0.00	\$0.00	\$0.00	\$0.00
2014	COUNTY ROAD & FLOOD	\$15,170	\$11.24	\$11.24	\$0.00	\$0.00	\$0.00	\$0.00
	2014 TOTAL:		\$241.86	\$241.86	\$0.00	\$0.00	\$0.00	\$0.00
2013	ARANSAS COUNTY	\$15,170	\$45.37	\$45.37	\$0.00	\$0.00	\$0.00	\$0.00
2013	NAVIGATION DIST	\$15,170	\$8.36	\$8.36	\$0.00	\$0.00	\$0.00	\$0.00
2013	ARANSAS CO ISD	\$15,170	\$176.05	\$176.05	\$0.00	\$0.00	\$0.00	\$0.00
2013	COUNTY ROAD & FLOOD	\$15,170	\$11.56	\$11.56	\$0.00	\$0.00	\$0.00	\$0.00
	2013 TOTAL:		\$241.34	\$241.34	\$0.00	\$0.00	\$0.00	\$0.00
2012	ARANSAS COUNTY	\$15,170	\$46.07	\$46.07	\$0.00	\$0.00	\$0.00	\$0.00
2012	NAVIGATION DIST	\$15,170	\$8.47	\$8.47	\$0.00	\$0.00	\$0.00	\$0.00
2012	ARANSAS CO ISD	\$15,170	\$175.88	\$175.88	\$0.00	\$0.00	\$0.00	\$0.00
2012	COUNTY ROAD & FLOOD	\$15,170	\$11.73	\$11.73	\$0.00	\$0.00	\$0.00	\$0.00
	2012 TOTAL:		\$242.15	\$242.15	\$0.00	\$0.00	\$0.00	\$0.00
2011	ARANSAS COUNTY	\$15,170	\$46.08	\$46.08	\$0.00	\$0.00	\$0.00	\$0.00
2011	NAVIGATION DIST	\$15,170	\$8.46	\$8.46	\$0.00	\$0.00	\$0.00	\$0.00
2011	ARANSAS CO ISD	\$15,170	\$171.79	\$171.79	\$0.00	\$0.00	\$0.00	\$0.00
2011	COUNTY ROAD & FLOOD	\$15,170	\$10.09	\$10.09	\$0.00	\$0.00	\$0.00	\$0.00
	2011 TOTAL:		\$236.42	\$236.42	\$0.00	\$0.00	\$0.00	\$0.00
2010	ARANSAS COUNTY	\$15,170	\$44.77	\$44.77	\$0.00	\$0.00	\$0.00	\$0.00
2010	NAVIGATION DIST	\$15,170	\$8.31	\$8.31	\$0.00	\$0.00	\$0.00	\$0.00
2010	ARANSAS CO ISD	\$15,170	\$165.62	\$165.62	\$0.00	\$0.00	\$0.00	\$0.00
2010	COUNTY ROAD & FLOOD	\$15,170	\$9.81	\$9.81	\$0.00	\$0.00	\$0.00	\$0.00
	2010 TOTAL:		\$228.51	\$228.51	\$0.00	\$0.00	\$0.00	\$0.00

2009	ARANSAS COUNTY	\$15,170	\$42.27	\$42.27	\$0.00	\$0.00	\$0.00	\$0.00
2009	NAVIGATION DIST	\$15,170	\$7.95	\$7.95	\$0.00	\$0.00	\$0.00	\$0.00
2009	ARANSAS CO ISD	\$15,170	\$164.58	\$164.58	\$0.00	\$0.00	\$0.00	\$0.00
2009	COUNTY ROAD & FLOOD	\$15,170	\$9.26	\$9.26	\$0.00	\$0.00	\$0.00	\$0.00
2009 TOTAL:			\$224.06	\$224.06	\$0.00	\$0.00	\$0.00	\$0.00
2008	ARANSAS COUNTY	\$15,170	\$35.42	\$35.42	\$0.00	\$0.00	\$0.00	\$0.00
2008	NAVIGATION DIST	\$15,170	\$8.08	\$8.08	\$0.00	\$0.00	\$0.00	\$0.00
2008	ARANSAS CO ISD	\$15,170	\$164.58	\$164.58	\$0.00	\$0.00	\$0.00	\$0.00
2008	COUNTY ROAD & FLOOD	\$15,170	\$10.83	\$10.83	\$0.00	\$0.00	\$0.00	\$0.00
2008 TOTAL:			\$218.91	\$218.91	\$0.00	\$0.00	\$0.00	\$0.00
2007	ARANSAS COUNTY	\$15,170	\$32.72	\$32.72	\$0.00	\$0.00	\$0.00	\$0.00
2007	NAVIGATION DIST	\$15,170	\$8.27	\$8.27	\$0.00	\$0.00	\$0.00	\$0.00
2007	ARANSAS CO ISD	\$15,170	\$164.58	\$164.58	\$0.00	\$0.00	\$0.00	\$0.00
2007	COUNTY ROAD & FLOOD	\$15,170	\$7.21	\$7.21	\$0.00	\$0.00	\$0.00	\$0.00
2007 TOTAL:			\$212.78	\$212.78	\$0.00	\$0.00	\$0.00	\$0.00
2006	ARANSAS COUNTY	\$15,170	\$35.62	\$35.62	\$0.00	\$0.00	\$0.00	\$0.00
2006	NAVIGATION DIST	\$15,170	\$6.04	\$6.04	\$0.00	\$0.00	\$0.00	\$0.00
2006	ARANSAS CO ISD	\$15,170	\$211.82	\$211.82	\$0.00	\$0.00	\$0.00	\$0.00
2006	COUNTY ROAD & FLOOD	\$15,170	\$6.61	\$6.61	\$0.00	\$0.00	\$0.00	\$0.00
2006 TOTAL:			\$260.09	\$260.09	\$0.00	\$0.00	\$0.00	\$0.00
2005	ARANSAS COUNTY	\$10,210	\$23.91	\$23.91	\$0.00	\$0.00	\$0.00	\$0.00
2005	ARANSAS COUNTY	\$10,210	\$4.61	\$4.61	\$0.00	\$0.00	\$0.00	\$0.00
2005	NAVIGATION DIST	\$10,210	\$4.72	\$4.72	\$0.00	\$0.00	\$0.00	\$0.00
2005	ARANSAS CO ISD	\$10,210	\$149.27	\$149.27	\$0.00	\$0.00	\$0.00	\$0.00
2005	ARANSAS CO ISD	\$10,210	\$5.76	\$5.76	\$0.00	\$0.00	\$0.00	\$0.00
2005	COUNTY ROAD & FLOOD	\$10,210	\$4.58	\$4.58	\$0.00	\$0.00	\$0.00	\$0.00
2005 TOTAL:			\$192.85	\$192.85	\$0.00	\$0.00	\$0.00	\$0.00
2004	ARANSAS COUNTY	\$5,540	\$16.33	\$16.33	\$0.00	\$0.00	\$0.00	\$0.00
2004	NAVIGATION DIST	\$5,540	\$2.76	\$2.76	\$0.00	\$0.00	\$0.00	\$0.00
2004	ARANSAS CO ISD	\$5,540	\$84.06	\$84.06	\$0.00	\$0.00	\$0.00	\$0.00
2004	COUNTY ROAD & FLOOD	\$5,540	\$2.62	\$2.62	\$0.00	\$0.00	\$0.00	\$0.00
2004 TOTAL:			\$105.77	\$105.77	\$0.00	\$0.00	\$0.00	\$0.00
2003	ARANSAS COUNTY	\$5,540	\$16.50	\$16.50	\$0.00	\$0.00	\$0.00	\$0.00
2003	NAVIGATION DIST	\$5,540	\$1.77	\$1.77	\$0.00	\$0.00	\$0.00	\$0.00
2003	ARANSAS CO ISD	\$5,540	\$86.98	\$86.98	\$0.00	\$0.00	\$0.00	\$0.00
2003	COUNTY ROAD & FLOOD	\$5,540	\$2.76	\$2.76	\$0.00	\$0.00	\$0.00	\$0.00
2003 TOTAL:			\$108.01	\$108.01	\$0.00	\$0.00	\$0.00	\$0.00

NOTE: Penalty & Interest accrues every month on the unpaid tax and is added to the balance. Attorney fees may also increase your tax liability if not paid by July 1. If you plan to submit payment on a future date, make sure you enter the date and RECALCULATE to obtain the correct total amount due.

Questions Please Call (361) 729-9733

Aransas CAD

Property Search Results > 35003 CLARK FLOYD E ETUX BRENDA K Tax Year: 2020
for Year 2020

Property

Account			
Property ID:	35003	Legal Description:	WEST TERRACE UNIT 1, BLOCK 4, LOT 16 THRU 20
Geographic ID:	6324-004-016-000	Zoning:	
Type:	Real	Agent Code:	
Property Use Code:			
Property Use Description:			
Location			
Address:	1123 W MARKET ST ROCKPORT, TX 78382	Mapsco:	
Neighborhood:		Map ID:	A-2
Neighborhood CD:			
Owner			
Name:	CLARK FLOYD E ETUX BRENDA K	Owner ID:	63763
Mailing Address:	760 SUNSET DRIVE ROCKPORT, TX 78382-7024	% Ownership:	100.0000000000%
		Exemptions:	

Values

(+) Improvement Homesite Value:	+	\$0	
(+) Improvement Non-Homesite Value:	+	\$83,150	
(+) Land Homesite Value:	+	\$0	
(+) Land Non-Homesite Value:	+	\$69,300	Ag / Timber Use Value
(+) Agricultural Market Valuation:	+	\$0	\$0
(+) Timber Market Valuation:	+	\$0	\$0

(=) Market Value:	=	\$152,450	
(-) Ag or Timber Use Value Reduction:	-	\$0	

(=) Appraised Value:	=	\$152,450	
(-) HS Cap:	-	\$0	

(=) Assessed Value:	=	\$152,450	

Taxing Jurisdiction

Owner: CLARK FLOYD E ETUX BRENDA K
% Ownership: 100.0000000000%
Total Value: \$152,450

Entity	Description	Tax Rate	Appraised Value	Taxable Value	Estimated Tax		
CAD	ARANSAS COUNTY APPRAISAL DISTRICT	0.000000	\$152,450	\$152,450	\$0.00		
CRO	CITY OF ROCKPORT	0.421311	\$152,450	\$152,450	\$642.29		
GAR	ARANSAS COUNTY	0.360785	\$152,450	\$152,450	\$550.02		
NVD	NAVIGATION DIST	0.049776	\$152,450	\$152,450	\$75.88		

SAR	ARANSAS CO ISD	0.980300	\$152,450	\$152,450	\$1,494.47
XSP	COUNTY ROAD & FLOOD	0.072758	\$152,450	\$152,450	\$110.92
Total Tax Rate:		1.884930			
				Taxes w/Current Exemptions:	\$2,873.58
				Taxes w/o Exemptions:	\$2,873.58

Improvement / Building

Improvement #1:	COMMERCIAL	State Code:	F1	Living Area:	7000.0 sqft	Value: \$83,150
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Type	Description	Class CD	Exterior Wall	Year Built	SQFT
MA	MAIN AREA	WHSL - *	METAL	1986	2280.0
MA	MAIN AREA	UTDAP- - *		1985	4000.0
C	CONCRETE	* - *		1986	4500.0
MA	MAIN AREA	WHSA - *		1985	720.0

Land

#	Type	Description	Acres	Sqft	Eff Front	Eff Depth	Market Value	Prod. Value
1	C	COMMERCIAL	0.5739	25000.00	314.65	125.00	\$22,500	\$0
2	C	COMMERCIAL	1.1936	51995.00	314.65	165.25	\$46,800	\$0

Roll Value History

Year	Improvements	Land Market	Ag Valuation	Appraised	HS Cap	Assessed
2021	N/A	N/A	N/A	N/A	N/A	N/A
2020	\$83,150	\$69,300	0	152,450	\$0	\$152,450
2019	\$61,940	\$69,300	0	131,240	\$0	\$131,240
2018	\$36,930	\$73,690	0	110,620	\$0	\$110,620
2017	\$75,130	\$73,690	0	148,820	\$0	\$148,820
2016	\$60,100	\$73,690	0	133,790	\$0	\$133,790
2015	\$61,500	\$73,690	0	135,190	\$0	\$135,190
2014	\$62,290	\$73,690	0	135,980	\$0	\$135,980
2013	\$54,030	\$73,690	0	127,720	\$0	\$127,720
2012	\$54,030	\$73,690	0	127,720	\$0	\$127,720
2011	\$54,030	\$73,690	0	127,720	\$0	\$127,720
2010	\$54,030	\$73,690	0	127,720	\$0	\$127,720
2009	\$62,570	\$73,690	0	136,260	\$0	\$136,260
2008	\$62,570	\$73,690	0	136,260	\$0	\$136,260
2007	\$57,430	\$73,690	0	131,120	\$0	\$131,120

Deed History - (Last 3 Deed Transactions)

#	Deed Date	Type	Description	Grantor	Grantee	Volume	Page	Deed Number
1	12/29/2004	WD	WARRANTY DEED	CLARK FLOYD E ETUX BRENDA K	CLARK FLOYD E ETUX BRENDA K			269815
2	10/30/1997	WDVL	WARRANTY DEED VENDOR'S LIEN	WAGLEY LUMBER CO INC	CLARK FLOYD E ETUX BRENDA K	216297	281507	0
3		CONV	CONVERSION	WAGLEY HOME CENTER	WAGLEY LUMBER CO INC			0

Tax Due

Property Tax Information as of 10/30/2020

Amount Due if Paid on: 

Year	Taxing Jurisdiction	Taxable Value	Base Tax	Base Taxes Paid	Base Tax Due	Discount / Penalty & Interest	Attorney Fees	Amount Due
2020	CITY OF ROCKPORT	\$152,450	\$642.29	\$0.00	\$642.29	\$0.00	\$0.00	\$642.29
2020	ARANSAS COUNTY	\$152,450	\$550.02	\$0.00	\$550.02	\$0.00	\$0.00	\$550.02
2020	NAVIGATION DIST	\$152,450	\$75.88	\$0.00	\$75.88	\$0.00	\$0.00	\$75.88
2020	ARANSAS CO ISD	\$152,450	\$1494.47	\$0.00	\$1494.47	\$0.00	\$0.00	\$1494.47
2020	COUNTY ROAD & FLOOD	\$152,450	\$110.92	\$0.00	\$110.92	\$0.00	\$0.00	\$110.92
2020 TOTAL:			\$2873.58	\$0.00	\$2873.58	\$0.00	\$0.00	\$2873.58
2019	CITY OF ROCKPORT	\$131,240	\$551.32	\$551.32	\$0.00	\$0.00	\$0.00	\$0.00
2019	ARANSAS COUNTY	\$131,240	\$493.15	\$493.15	\$0.00	\$0.00	\$0.00	\$0.00
2019	NAVIGATION DIST	\$131,240	\$68.26	\$68.26	\$0.00	\$0.00	\$0.00	\$0.00
2019	ARANSAS CO ISD	\$131,240	\$1351.78	\$1351.78	\$0.00	\$0.00	\$0.00	\$0.00
2019	COUNTY ROAD & FLOOD	\$131,240	\$99.34	\$99.34	\$0.00	\$0.00	\$0.00	\$0.00
2019 TOTAL:			\$2563.85	\$2563.85	\$0.00	\$0.00	\$0.00	\$0.00
2018	CITY OF ROCKPORT	\$110,620	\$499.96	\$499.96	\$0.00	\$0.00	\$0.00	\$0.00
2018	ARANSAS COUNTY	\$110,620	\$438.70	\$438.70	\$0.00	\$0.00	\$0.00	\$0.00
2018	NAVIGATION DIST	\$110,620	\$66.18	\$66.18	\$0.00	\$0.00	\$0.00	\$0.00
2018	ARANSAS CO ISD	\$110,620	\$1287.54	\$1287.54	\$0.00	\$0.00	\$0.00	\$0.00
2018	COUNTY ROAD & FLOOD	\$110,620	\$91.30	\$91.30	\$0.00	\$0.00	\$0.00	\$0.00
2018 TOTAL:			\$2383.68	\$2383.68	\$0.00	\$0.00	\$0.00	\$0.00
2017	CITY OF ROCKPORT	\$148,820	\$573.91	\$573.91	\$0.00	\$0.00	\$0.00	\$0.00
2017	ARANSAS COUNTY	\$148,820	\$496.87	\$496.87	\$0.00	\$0.00	\$0.00	\$0.00
2017	NAVIGATION DIST	\$148,820	\$75.55	\$75.55	\$0.00	\$0.00	\$0.00	\$0.00
2017	ARANSAS CO ISD	\$148,820	\$1732.16	\$1732.16	\$0.00	\$0.00	\$0.00	\$0.00
2017	COUNTY ROAD & FLOOD	\$148,820	\$103.34	\$103.34	\$0.00	\$0.00	\$0.00	\$0.00
2017 TOTAL:			\$2981.83	\$2981.83	\$0.00	\$0.00	\$0.00	\$0.00
2016	ARANSAS COUNTY	\$133,790	\$444.95	\$444.95	\$0.00	\$0.00	\$0.00	\$0.00
2016	NAVIGATION DIST	\$133,790	\$70.40	\$70.40	\$0.00	\$0.00	\$0.00	\$0.00
2016	ARANSAS CO ISD	\$133,790	\$1564.69	\$1564.69	\$0.00	\$0.00	\$0.00	\$0.00
2016	COUNTY ROAD & FLOOD	\$133,790	\$96.84	\$96.84	\$0.00	\$0.00	\$0.00	\$0.00
2016 TOTAL:			\$2176.88	\$2176.88	\$0.00	\$0.00	\$0.00	\$0.00
2015	ARANSAS COUNTY	\$135,190	\$423.21	\$423.21	\$0.00	\$0.00	\$0.00	\$0.00
2015	NAVIGATION DIST	\$135,190	\$70.98	\$70.98	\$0.00	\$0.00	\$0.00	\$0.00
2015	ARANSAS CO ISD	\$135,190	\$1562.79	\$1562.79	\$0.00	\$0.00	\$0.00	\$0.00
2015	COUNTY ROAD & FLOOD	\$135,190	\$97.90	\$97.90	\$0.00	\$0.00	\$0.00	\$0.00
2015 TOTAL:			\$2154.88	\$2154.88	\$0.00	\$0.00	\$0.00	\$0.00
2014	ARANSAS COUNTY	\$135,980	\$422.31	\$422.31	\$0.00	\$0.00	\$0.00	\$0.00
2014	NAVIGATION DIST	\$135,980	\$72.90	\$72.90	\$0.00	\$0.00	\$0.00	\$0.00
2014	ARANSAS CO ISD	\$135,980	\$1572.05	\$1572.05	\$0.00	\$0.00	\$0.00	\$0.00
2014	COUNTY ROAD & FLOOD	\$135,980	\$100.76	\$100.76	\$0.00	\$0.00	\$0.00	\$0.00
2014 TOTAL:			\$2168.02	\$2168.02	\$0.00	\$0.00	\$0.00	\$0.00
2013	ARANSAS COUNTY	\$127,720	\$381.97	\$381.97	\$0.00	\$0.00	\$0.00	\$0.00
2013	NAVIGATION DIST	\$127,720	\$70.42	\$70.42	\$0.00	\$0.00	\$0.00	\$0.00
2013	ARANSAS CO ISD	\$127,720	\$1482.18	\$1482.18	\$0.00	\$0.00	\$0.00	\$0.00
2013	COUNTY ROAD & FLOOD	\$127,720	\$97.33	\$97.33	\$0.00	\$0.00	\$0.00	\$0.00
2013 TOTAL:			\$2031.90	\$2031.90	\$0.00	\$0.00	\$0.00	\$0.00
2012	ARANSAS COUNTY	\$127,720	\$387.90	\$387.90	\$0.00	\$0.00	\$0.00	\$0.00
2012	NAVIGATION DIST	\$127,720	\$71.26	\$71.26	\$0.00	\$0.00	\$0.00	\$0.00
2012	ARANSAS CO ISD	\$127,720	\$1480.76	\$1480.76	\$0.00	\$0.00	\$0.00	\$0.00
2012	COUNTY ROAD & FLOOD	\$127,720	\$98.79	\$98.79	\$0.00	\$0.00	\$0.00	\$0.00
2012 TOTAL:			\$2038.71	\$2038.71	\$0.00	\$0.00	\$0.00	\$0.00

2011	ARANSAS COUNTY	\$127,720	\$387.89	\$387.89	\$0.00	\$0.00	\$0.00	\$0.00
2011	NAVIGATION DIST	\$127,720	\$71.23	\$71.23	\$0.00	\$0.00	\$0.00	\$0.00
2011	ARANSAS CO ISD	\$127,720	\$1446.26	\$1446.26	\$0.00	\$0.00	\$0.00	\$0.00
2011	COUNTY ROAD & FLOOD	\$127,720	\$84.99	\$84.99	\$0.00	\$0.00	\$0.00	\$0.00
2011 TOTAL:			\$1990.37	\$1990.37	\$0.00	\$0.00	\$0.00	\$0.00
2010	ARANSAS COUNTY	\$127,720	\$376.96	\$376.96	\$0.00	\$0.00	\$0.00	\$0.00
2010	NAVIGATION DIST	\$127,720	\$69.93	\$69.93	\$0.00	\$0.00	\$0.00	\$0.00
2010	ARANSAS CO ISD	\$127,720	\$1394.37	\$1394.37	\$0.00	\$0.00	\$0.00	\$0.00
2010	COUNTY ROAD & FLOOD	\$127,720	\$82.56	\$82.56	\$0.00	\$0.00	\$0.00	\$0.00
2010 TOTAL:			\$1923.82	\$1923.82	\$0.00	\$0.00	\$0.00	\$0.00
2009	ARANSAS COUNTY	\$136,260	\$379.72	\$379.72	\$0.00	\$0.00	\$0.00	\$0.00
2009	NAVIGATION DIST	\$136,260	\$71.38	\$71.38	\$0.00	\$0.00	\$0.00	\$0.00
2009	ARANSAS CO ISD	\$136,260	\$1478.21	\$1478.21	\$0.00	\$0.00	\$0.00	\$0.00
2009	COUNTY ROAD & FLOOD	\$136,260	\$83.19	\$83.19	\$0.00	\$0.00	\$0.00	\$0.00
2009 TOTAL:			\$2012.50	\$2012.50	\$0.00	\$0.00	\$0.00	\$0.00
2008	ARANSAS COUNTY	\$136,260	\$318.11	\$318.11	\$0.00	\$0.00	\$0.00	\$0.00
2008	NAVIGATION DIST	\$136,260	\$72.64	\$72.64	\$0.00	\$0.00	\$0.00	\$0.00
2008	ARANSAS CO ISD	\$136,260	\$1478.21	\$1478.21	\$0.00	\$0.00	\$0.00	\$0.00
2008	COUNTY ROAD & FLOOD	\$136,260	\$97.30	\$97.30	\$0.00	\$0.00	\$0.00	\$0.00
2008 TOTAL:			\$1966.26	\$1966.26	\$0.00	\$0.00	\$0.00	\$0.00
2007	ARANSAS COUNTY	\$131,120	\$282.81	\$282.81	\$0.00	\$0.00	\$0.00	\$0.00
2007	NAVIGATION DIST	\$131,120	\$71.50	\$71.50	\$0.00	\$0.00	\$0.00	\$0.00
2007	ARANSAS CO ISD	\$131,120	\$1422.45	\$1422.45	\$0.00	\$0.00	\$0.00	\$0.00
2007	COUNTY ROAD & FLOOD	\$131,120	\$62.28	\$62.28	\$0.00	\$0.00	\$0.00	\$0.00
2007 TOTAL:			\$1839.04	\$1839.04	\$0.00	\$0.00	\$0.00	\$0.00
2006	ARANSAS COUNTY	\$131,120	\$307.92	\$307.92	\$0.00	\$0.00	\$0.00	\$0.00
2006	NAVIGATION DIST	\$131,120	\$52.19	\$52.19	\$0.00	\$0.00	\$0.00	\$0.00
2006	ARANSAS CO ISD	\$131,120	\$1830.83	\$1830.83	\$0.00	\$0.00	\$0.00	\$0.00
2006	COUNTY ROAD & FLOOD	\$131,120	\$57.13	\$57.13	\$0.00	\$0.00	\$0.00	\$0.00
2006 TOTAL:			\$2248.07	\$2248.07	\$0.00	\$0.00	\$0.00	\$0.00
2005	ARANSAS COUNTY	\$118,840	\$331.89	\$331.89	\$0.00	\$0.00	\$0.00	\$0.00
2005	NAVIGATION DIST	\$118,840	\$54.95	\$54.95	\$0.00	\$0.00	\$0.00	\$0.00
2005	ARANSAS CO ISD	\$118,840	\$67.03	\$67.03	\$0.00	\$0.00	\$0.00	\$0.00
2005	ARANSAS CO ISD	\$118,840	\$1737.44	\$1737.44	\$0.00	\$0.00	\$0.00	\$0.00
2005	COUNTY ROAD & FLOOD	\$118,840	\$53.31	\$53.31	\$0.00	\$0.00	\$0.00	\$0.00
2005 TOTAL:			\$2244.62	\$2244.62	\$0.00	\$0.00	\$0.00	\$0.00
2004	ARANSAS COUNTY	\$110,080	\$324.41	\$324.41	\$0.00	\$0.00	\$0.00	\$0.00
2004	NAVIGATION DIST	\$110,080	\$54.93	\$54.93	\$0.00	\$0.00	\$0.00	\$0.00
2004	ARANSAS CO ISD	\$110,080	\$1670.24	\$1670.24	\$0.00	\$0.00	\$0.00	\$0.00
2004	COUNTY ROAD & FLOOD	\$110,080	\$52.07	\$52.07	\$0.00	\$0.00	\$0.00	\$0.00
2004 TOTAL:			\$2101.65	\$2101.65	\$0.00	\$0.00	\$0.00	\$0.00
2003	ARANSAS COUNTY	\$110,080	\$327.93	\$327.93	\$0.00	\$0.00	\$0.00	\$0.00
2003	NAVIGATION DIST	\$110,080	\$35.23	\$35.23	\$0.00	\$0.00	\$0.00	\$0.00
2003	ARANSAS CO ISD	\$110,080	\$1728.26	\$1728.26	\$0.00	\$0.00	\$0.00	\$0.00
2003	COUNTY ROAD & FLOOD	\$110,080	\$54.93	\$54.93	\$0.00	\$0.00	\$0.00	\$0.00
2003 TOTAL:			\$2146.35	\$2146.35	\$0.00	\$0.00	\$0.00	\$0.00

NOTE: Penalty & Interest accrues every month on the unpaid tax and is added to the balance. Attorney fees may also increase your tax liability if not paid by July 1. If you plan to submit payment on a future date, make sure you enter the date and RECALCULATE to obtain the correct total amount due.

Questions Please Call (361) 729-9733



JOINT PUBLIC HEARING Rockport City Council and Planning & Zoning Commission

NOTICE is hereby given that the Rockport City Council and the Planning & Zoning Commission will hold a Joint Public Hearing on Tuesday, December 8, 2020, at 6:30 p.m., to consider a request to rezone property located at 1123 West Market Street; also known as Lot 7 and Lots 16-20, Block 4, West Terrace Subdivision Unit 1, City of Rockport, Aransas County, Texas; to B-1 (General Business District) to bring land use into a conforming zoning district; currently zoned R-1 (1st Single Family Dwelling District).

The meeting will be held using the video conferencing application ZOOM. **No in-person meeting will be conducted at the Rockport Service Center.** A temporary suspension of the Open Meetings Act to allow telephone or video conference public meeting has been granted by Governor Greg Abbott. These actions are being taken to mitigate the spread of COVID-19 by avoiding meetings that bring people into a group setting and in accordance with Section 418.016 of the Texas Government Code. **Video conferencing capabilities will be utilized to allow individuals to address the Planning & Zoning Commission and City Council.** Email comments may also be submitted to communityplanner@cityofrockport.com by 3:00 p.m. the day of the meeting. Members of the public are entitled to participate remotely via Zoom at <https://us02web.zoom.us/j/86741759651> or scan the QR code to the right.



SCAN ME

Due to the COVID-19 pandemic, the attorney general has said: “statutes that may be interpreted to require face-to-face interaction between members of the public and public officials are suspended; provided, however, that the governmental bodies must offer alternative methods of communicating with their public officials.” Public participation is valued and citizens wishing to express their views on any topic or agenda item can either electronically submit a citizen participation form in order to register to speak by going to <https://rockport.seamlessdocs.com/f/CouncilCitizenParticipation> or scanning the QR code to the right. Using the same form, citizens can also provide written comments to the City Secretary by 4:00 p.m. on the day of the meeting. The Mayor will read the comments and they will be summarized in the minutes of the meeting.



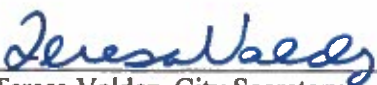
SCAN ME

The City encourages citizens to participate and make their views known at this Public Hearing. For further information on this request, please contact the Building Department at (361) 790-1125.

POSTED the 16th day of November 2020 at 10:30 a.m., on the bulletin board at the Rockport Service Center, 2751 State Highway 35 Bypass, Rockport, Texas, and on the website www.cityofrockport.com.

PUBLISHED in *The Rockport Pilot* in the Saturday, November 21, 2020, Edition, in accordance with the City of Rockport Code of Ordinances.

CITY OF ROCKPORT, TEXAS


Teresa Valdez, City Secretary

<u>Property ID</u>	<u>Property Owner</u>	<u>Situs Address</u>	<u>Mailing Address</u>	<u>City</u>	<u>State</u>	<u>ZIP</u>
29958	Ghraowi Family Investments	1130 W Market	13631 Wildwood Ln	Redding	CA	96003-7045
30075	John C & Patricia Hamm	1120 W Market	1120 W Market	Rockport	TX	78382-6208
29589	Arthur Helmsteadt & Sarah Haskins	1110 W Market	14714 Lighthouse Dr	Corpus Christi	TX	78418
35000	M.A.R.S. Investments LLC	1125 W Market	111 S Sierra Woods Dr	Rockport	TX	78382-9668
34999*	Floyd & Brenda Clark	1123 W Market	760 Sunset Drive	Rockport	TX	78382-7024
34998	James & Pamela Collins	1111-1121 W Market	102 Lakeway Ct	Victoria	TX	77905-4018
35003*	Floyd & Brenda Clark	1123 W Market	760 Sunset Drive	Rockport	TX	78382-7024
33771	Aransas County	1107 W Market	301 N Live Oak	Rockport	TX	78382-2744
33748	James Friebele etux	1105 W Market	1105 W Market	Rockport	TX	78382-6207
35009	Hilda Guerra Gonzalez	716 W Terrace Blvd	716 W Terrace Blvd	Rockport	TX	78382-6254
35008	Jerry and Gladys Payne	718 W Terrace Blvd	718 W Terrace Blvd	Rockport	TX	78382-6264
48094	Aransas County	1109 W Market	301 N Live Oak	Rockport	TX	78382-2744
35056	Cynthia Rainwater	703 W Terrace Blvd	703 W Terrace Blvd	Rockport	TX	78382-6263
35057	Patricia Riley Jackson	711 W Terrace Blvd	711 W Terrace Blvd	Rockport	TX	78382-6263
35055	Ivan J Dew	1109 W Terrace Blvd	1919 Hwy 35 N PMB #25	Rockport	TX	78382-3344
35058	Lawrence & Mattie Johnson	1112 Redbird Dr	1112 Redbird Dr	Rockport	TX	78382-6220
35054	Alma Cartwright	1115 W Terrace Blvd	1115 W Terrace Blvd	Rockport	TX	78382-6247
35059	Amanda & Jeremy Schuler	1116 Redbird Dr	1116 Redbird Dr	Rockport	TX	78382
35053	Lightning Engineering & Inspection PLLC	1121 W Terrace Blvd	5829 Loire Blvd	Corpus Christi	TX	78414-4222
35052	Nelda & Long Nguyen	1129 W Terrace Blvd	P.O. Box 1683	Rockport	TX	78381-1683



JOINT PUBLIC HEARING

Rockport City Council and
Planning & Zoning Commission

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The City encourages citizens to participate and make their views known at this Public Hearing. For further information on this request, please contact the Building Department at (361) 790-1125.

CITY OF ROCKPORT, TEXAS

/s/ Teresa Valdez, City Secretary

TO BE ON RECORD, THIS FORM MUST BE FILLED OUT, SIGNED BY THE CURRENT PROPERTY OWNER(S) AND MAILED IN ITS ENTIRETY TO THE BUILDING & DEVELOPMENT SERVICES DEPARTMENT, 2751 STATE HIGHWAY 35 BYPASS, ROCKPORT, TX 78382. ANY INFORMATION PROVIDED BELOW BECOMES PUBLIC RECORD.

NOTE: In accordance with the Open Meetings Act and Public Information Act, no discussion shall be held by a member or members of this Commission, either at home or office, or in person, by telephone call or by letter.

Printed Name: Floyd Edward Clark (owner)

Address: 760 Sunset Drive

City/State: Rockport, TX 78382

(☒) IN FAVOR () IN OPPOSITION

Phone: 361-230-0542

REASON: This property has been used as commercial/business property from ~1985 until the present.


Signature

See map on reverse side.



JOINT PUBLIC HEARING
Rockport City Council and
Planning & Zoning Commission

NOTICE is hereby given that the Rockport City Council and the Planning & Zoning Commission will hold a Joint Public Hearing on **Tuesday, December 8, 2020, at 6:30 p.m.**, to consider a request to rezone property located at 1123 West Market Street; also known as Lot 7 and Lots 16-20, Block 4, West Terrace Subdivision Unit 1, City of Rockport, Aransas County, Texas; to B-1 (General Business District) to bring land use into a conforming zoning district; currently zoned R-1 (1st Single Family Dwelling District).

The meeting will be held using the video conferencing application ZOOM. No in-person meeting will be conducted at the Rockport Service Center. A temporary suspension of the Open Meetings Act to allow telephone or video conference public meeting has been granted by Governor Greg Abbott. These actions are being taken to mitigate the spread of COVID-19 by avoiding meetings that bring people into a group setting and in accordance with Section 418.016 of the Texas Government Code. **Video conferencing capabilities will be utilized to allow individuals to address the Planning & Zoning Commission and City Council.** Email comments may also be submitted to communityplanner@cityofrockport.com by 3:00 p.m. the day of the meeting. Members of the public are entitled to participate remotely via Zoom at <https://us02web.zoom.us/j/86741759651> or scan the QR code to the right.



Due to the COVID-19 pandemic, the attorney general has said: "statutes that may be interpreted to require face-to-face interaction between members of the public and public officials are suspended; provided, however, that the governmental bodies must offer alternative methods of communicating with their public officials." Public participation is valued and citizens wishing to express their views on any topic or agenda item can either electronically submit a citizen participation form in order to register to speak by going to <https://rockport.seamlessdocs.com/f/CouncilCitizenParticipation> or scanning the QR code to the right. Using the same form, citizens can also provide written comments to the City Secretary by 4:00 p.m. on the day of the meeting. The Mayor will read the comments and they will be summarized in the minutes of the meeting.



The City encourages citizens to participate and make their views known at this Public Hearing. For further information on this request, please contact the Building Department at (361) 790-1125.

CITY OF ROCKPORT, TEXAS

/s/ Teresa Valdez, City Secretary

TO BE ON RECORD, THIS FORM MUST BE FILLED OUT, SIGNED BY THE CURRENT PROPERTY OWNER(S) AND MAILED IN ITS ENTIRETY TO THE BUILDING & DEVELOPMENT SERVICES DEPARTMENT, 2751 STATE HIGHWAY 35 BYPASS, ROCKPORT, TX 78382. ANY INFORMATION PROVIDED BELOW BECOMES PUBLIC RECORD.

NOTE: In accordance with the Open Meetings Act and Public Information Act, no discussion shall be held by a member or members of this Commission, either at home or office, or in person, by telephone call or by letter.

Printed Name: Brenda Kay Clark (co-owner)
Address: 760 Sunset Drive City/State: Rockport, TX 78382

☒ IN FAVOR ☐ IN OPPOSITION

Phone: 361-230-3053

REASON:

*This property has
been ~~zoned~~ and used as
commercial/business
property from 1985
until the city
annexed it.*

Brenda Kay Clark
Signature
See map on reverse side.



JOINT PUBLIC HEARING
Rockport City Council and
Planning & Zoning Commission

NOTICE is hereby given that the Rockport City Council and the Planning & Zoning Commission will hold a Joint Public Hearing on Tuesday, November 10, 2020, at 6:30 p.m., to consider a request to rezone property located at 1123 West Market Street; also known as Lot 7 and Lots 16-20, Block 4, West Terrace Subdivision Unit 1, City of Rockport, Aransas County, Texas; to B-1 (General Business District) to bring land use into a conforming zoning district; currently zoned R-1 (1st Single Family Dwelling District).

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NOTE: In accordance with the Open Meetings Act and Public Information Act, no discussion shall be held by a member or members of this Commission, either at home or office, or in person, by telephone call or by letter.

Printed Name: Patricia Riley Jackson
Address: 111 W. Terrace Blvd.

City/State: Rockport, Tx 78382

() IN FAVOR (☒) IN OPPOSITION

Phone: 361 729 5100

REASON: To close to Home

Patricia Riley Jackson
Signature
See map on reverse side.

ZONING CASE: 1123 W MARKET
JOINT PUBLIC HEARING SUMMARY
DECEMBER 8, 2020

1. **Floyd Clark (applicant):** Mr. Clark wrote that this location has been the primary location for this business since 1985 and would like to have it rezoned to match the current land use.

CITY COUNCIL AGENDA
Regular Meeting: Monday, December 14, 2020

AGENDA ITEM:

Deliberate and act on a request to rezone property located at 1711-1715 Sixteenth Street; also known as 10.57 acres embracing a portion of Tract 8, lying west of Texas State Highway 35 relief route, and the east one-half of Tract 84, Block 250, Foor and Swickheimer Subdivision, City of Rockport, Aransas County, Texas; to B-1 (General Business District) to prepare property for commercial use, currently zoned R-1 (1st Single Family Dwelling District).

SUBMITTED BY: Community Planner Amanda Torres

APPROVED FOR AGENDA:

BACKGROUND: Property owner Rickey Fischer and representative James Paxton have submitted an application seeking a request to rezone property located at 1711-1715 Sixteenth Street; also known as 10.57 acres embracing a portion of Tract 8, lying west of Texas State Highway 35 relief route, and the east one-half of Tract 84, Block 250, Foor and Swickheimer Subdivision, City of Rockport, Aransas County, Texas; to B-1 (General Business District) to prepare property for commercial use, currently zoned R-1 (1st Single Family Dwelling District). This property was annexed into the City in 2016. The 2011 Future Land Use Map indicates this area as Commercial.

A public notice regarding this item was published in The Rockport Pilot in the Saturday, November 21, 2020 edition and mailed out to ten property owners within a 200-foot radius of the property. No letters for or against the request has been received. A Joint Public Hearing was held on Tuesday, December 8.

Please see the accompanying zoning change request application and Section 118-15 of Code of Ordinances for detail information.

FISCAL ANALYSIS: N/A

RECOMMENDATION: Staff recommends that the Planning & Zoning Commission recommends to Council approval of the request to rezone property located at 1711-1715 Sixteenth Street; also known as 10.57 acres embracing a portion of Tract 8, lying west of Texas State Highway 35 relief route, and the east one-half of Tract 84, Block 250, Foor and Swickheimer Subdivision, City of Rockport, Aransas County, Texas; to B-1 (General Business District) to prepare property for commercial use, currently zoned R-1 (1st Single Family Dwelling District).

STAFF REPORT

Building & Development Services | Amanda Torres, Community Planner
2751 SH 35 Bypass, Rockport, TX 78362
Phone: (361) 790-1125, x. 226 | Email: communityplanner@cityofrockport.com



PROPERTY ADDRESS/LOCATION

1711-1715 Sixteenth Street

APPLICANT/PROPERTY OWNER

Rickey Fischer

PUBLIC HEARING DATE

Tuesday, December 8, 2020

P&Z DATE

Monday, December 14, 2020

CITY COUNCIL DATE(S)

1st Reading - Tuesday, January 12, 2021

2nd Reading - Tuesday, January 26, 2021

BRIEF SUMMARY OF REQUEST

Applicant would like to change the zoning to prepare the property for commercial use. It is currently zoned R-1 1st Single Family Dwelling District. The property is currently undeveloped. The property was annexed and therefore currently zoned R-1 (1st Single Family Residential District) due to annexation that was previously done.

A public notice regarding this item was published in The Rockport Pilot in the Saturday, November 21, 2020 edition and mailed out to ten property owners within a 200-foot radius of the property. No letters for or against the request has been received. A Joint Public Hearing was held on Tuesday, December 8.



MAP SOURCE: Pictometry

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS	SIZE OF PROPERTY
R-1 1 st Single Family Dwelling District	Undeveloped	North: R-1 1 st Single-Family Dwelling, businesses, residences South: R-1 1 st Single-Family Dwelling, businesses, residence East: Highway West: R-1 1 st Single-Family Dwelling, residences	None requested	1.9014 acres

STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

COMPATIBILITY with the ZONING ORDINANCE & FUTURE LAND USE MAP

Any future development will meet all setback requirements of the B-1 General Business District if approved.

The 2011 Future Land Use Map indicates this area as Commercial.

PROPERTY HISTORY

Compatibility with the planned development (or other controlling documents); traffic/parking; public works/utilities; engineering/flood plain/soil; building code/fire or design

The property is not within the Special Flood Hazard Area. Commercial plans including parking, drainage, building design, etc. will need to conform to the approved zoning district, if zoning is approved.

The property in question was annexed by the City of Rockport in 2016. Because this property was incorporated into the city as part of an annexation, this and surrounding properties were designated as R-1 (1st Single Family Dwelling District) in accordance to the City's zoning policy for newly annexed territory (City of Rockport Code of Ordinances, Chapter 118 Zoning, Article 5 Newly Annexed Territory).

ATTACHMENTS
(CIRCLE)

SUBMITTED PLANS

**PUBLIC HEARING PETITION/
APPLICATION FORM**

LEGAL NOTICE

LEGAL DESCRIPTION

PUBLIC COMMENTS

AGENCY COMMENTS

RESPONSE TO STANDARDS

OTHER (DESCRIBE)

STAFF REPORT

Building & Development Services | Amanda Torres, Community Planner
2751 SH 35 Bypass, Rockport, TX 78362
Phone: (361) 790-1125, x. 226 | Email: communityplanner@cityofrockport.com



PROPERTY ADDRESS/LOCATION
1711-1715 Sixteenth Street

APPLICANT/PROPERTY OWNER
Rickey Fischer

PUBLIC HEARING DATE
Tuesday, December 8, 2020

P&Z DATE
Monday, December 14, 2020

CITY COUNCIL DATE(S)
1st Reading - Tuesday, January 12, 2021
2nd Reading - Tuesday, January 26, 2021

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STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

COMPATIBILITY with the ZONING ORDINANCE & FUTURE LAND USE MAP	PROPERTY HISTORY
Any future development will meet all setback requirements of the B-1 General Business District if approved. The 2011 Future Land Use Map indicates this area as Commercial.	<i>Compatibility with the planned development (or other controlling documents); traffic/parking; public works/utilities; engineering/flood plain/soil; building code/fire or design</i> The property is not within the Special Flood Hazard Area. Commercial plans including parking, drainage, building design, etc. will need to conform to the approved zoning district, if zoning is approved. The property in question was annexed by the City of Rockport in 2016. Because this property was incorporated into the city as part of an annexation, this and surrounding properties were designated as R-1 (1st Single Family Dwelling District) in accordance to the City's zoning policy for newly annexed territory (City of Rockport Code of Ordinances, Chapter 118 Zoning, Article 5 Newly Annexed Territory).

ATTACHMENTS
(CIRCLE)

SUBMITTED PLANS

PUBLIC HEARING PETITION/
APPLICATION FORM

LEGAL NOTICE

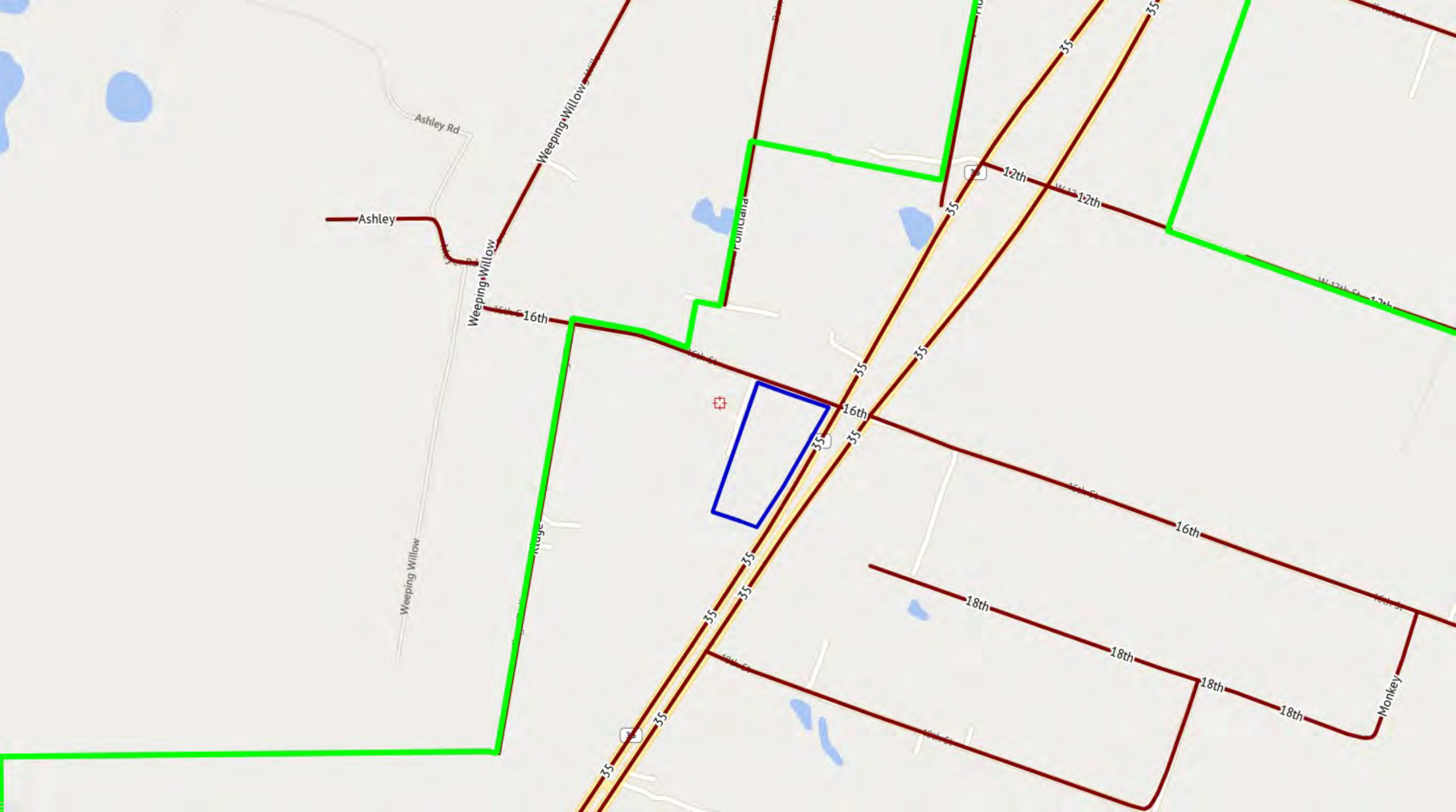
LEGAL DESCRIPTION

PUBLIC COMMENTS

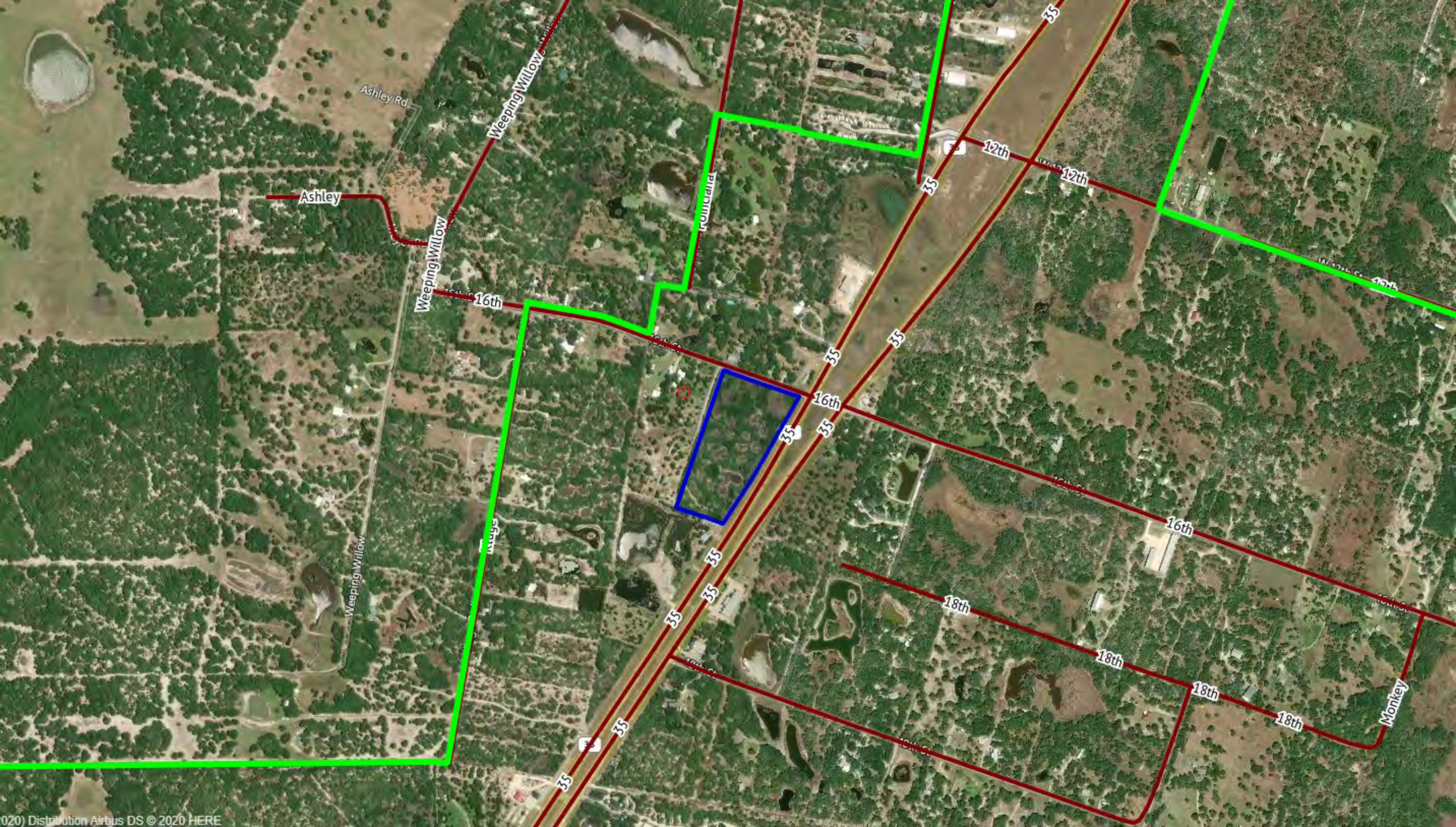
AGENCY COMMENTS

RESPONSE TO STANDARDS

OTHER (DESCRIBE)

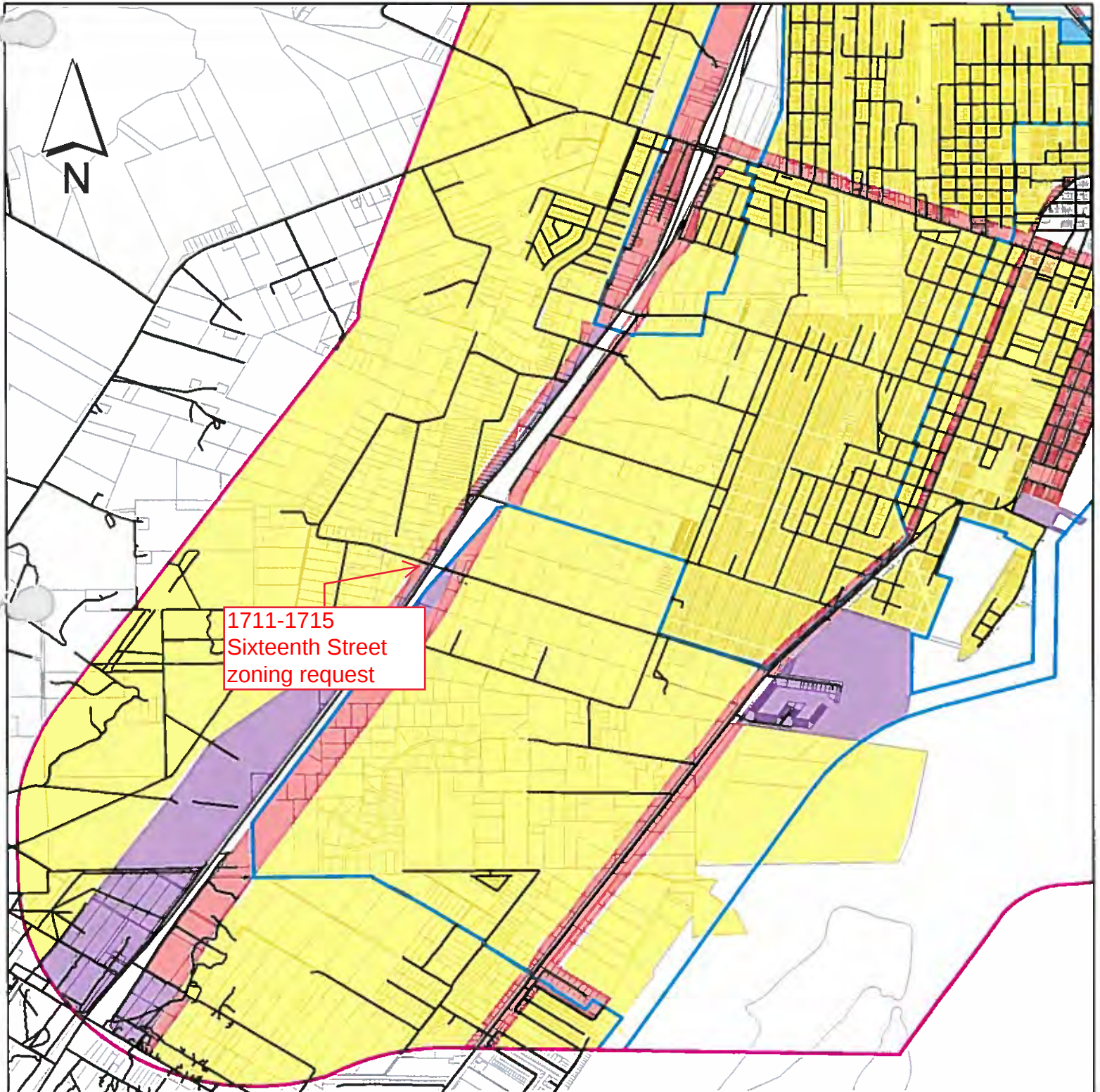






City of Rockport, Texas Study Area

Future Land Use Map: Exhibit A



Legend

- | | | |
|----------------------|--------------------------|-----------------------|
| Rockport ETJ | Commercial/Business | Parks and Green Space |
| Rockport City Limits | Industrial | Public |
| Roads | Low Density Residential | Aransas Parcels |
| | Multi-family Residential | |

Article I. Zoning Ordinance*

Sec. 118-15. B-1 General Business District.

15.1 *Use Regulations.* The purpose of this district is to provide suitable locations for a wide variety of business and mercantile uses. In addition to the previous listed uses in R-1 through R-7 districts, land and premises may be used for:

1. Restaurants, cafes, food catering services.
2. Offices, banks, libraries, museums, etc.
3. Service stations, car washes, laundromats.
4. Malls, shopping centers, retail stores.
5. Shops (butcher shops, shoe shops, shell shops, etc., including pawn shops that have been licensed to transact business by the Consumer Credit Commissioner under Chapter 371, Finance Code).
6. Grocery stores, convenience stores, markets.
7. Retail markets (seafood/meat) and bait stands.
8. Entertainment facilities (theaters, bowling alleys, pool halls, clubs and lounges, etc.
9. Sales, service and repair shops (radio, television, shoe repair, tool repair and rental, lawn mower repair, auto and boat repair shops, etc).
10. Personal service shops (beauty salons, barber shops, tailoring and dressmaking shops, etc).
11. Storage buildings, auto storage yards.
12. Animal hospitals, boarding kennels and grooming shops.
13. Mortuaries and funeral homes.
14. Agricultural services, greenhouses and landscaping services.
15. Outdoor welding, fabricating operations, by CUP.
16. Permanent or long term (more than 30 days) public entertainment facilities or uses, by CUP. Such uses may include, but not be limited to, amusement parks, carnivals, circuses, marine life shows, dance/theatrical productions and natatoriums.
17. Fish houses, seafood processing plants, by CUP.
18. Adult entertainment, by CUP.

15.2 *Area and Yard Regulations.*

15.2.1 *Area of the Lot.* None required for non-dwelling uses. For dwelling uses, See [[section 118-20](#)] Table 20.

15.2.2 *Width of the Lot.* The minimum width of the lot shall be fifty (50) feet. See [[section 118-20](#)] Table 20.

15.2.3 *Area of the Building.* For a primary use structure, the minimum floor area shall be five hundred (500) square feet. See [[section 118-20](#)] Table 20.

15.2.4 *Yard Area and Building Setbacks.* See [[section 118-20](#)] Table 20

15.3 *Height of the Building.* No building shall exceed forty five (45) feet in height. See Article 3 [[section 118-3](#)] Definitions and Article 20 [[section 118-20](#)].

15.4 *Parking Regulations.* Parking regulations for permitted uses as contained in Article 21 [[section 118-21](#)].

15.5 *Accessory Use Regulations.* Accessory uses, which are auxiliary or incidental to the primary use of a building or premises, as contained in Article 22 [[section 118-22](#)].

(Ord. No. 1027, art. 15, 4-9-96)



CITY OF ROCKPORT
ZONING AND LAND DEVELOPMENT APPLICATION

10-29-2020

INSTRUCTION: Please fill out completely. If more space is needed, attach additional pages. Please print or use typewriter.

A. REQUESTING: Rezoning ☒ Conditional Permit ☐

Planned Unit Development (P.U.D.) by Conditional Permit ☐

B. ADDRESS AND LOCATION OF PROPERTY 1711 & 1715 16TH STREET
CORNER OF SH 35 BYPASS 10.57 ACRES

C. CURRENT ZONING OF PROPERTY: RESIDENTIAL

D. PRESENT USE OF PROPERTY: VACANT LAND

E. ZONING DISTRICT REQUESTED: _____

F. CONDITIONAL USE REQUESTED: _____

G. LEGAL DESCRIPTION: (Fill in the one that applies)

- Lot or Tract E 1/2 OF TRACT 84 Block 250
WPT OF 84 10.57 ACRES
- Tract SWICKHEIMER of the _____
Survey as per metes and bounds (field notes attached)

- If other, attach copy of survey or legal description from the Records of Aransas County or Appraisal District.

H. NAME OF PROPOSED DEVELOPMENT (if applicable) N/A

I. TOTAL ACREAGE OR SQ. FT. OF SITE(S): TRACT 10.57

J. REASON FOR REQUEST AND DESCRIPTION OF DEVELOPMENT:
(Please be specific)

TO REZONE TO HIGHEST AND BEST
USE FOR SALE & DEVELOPMENT OF
TRACT B-1

K. OWNER'S NAME: (Please print) RICKY FISHER
ADDRESS: P.O. Box 682
CITY, STATE, ZIP CODE: FULTON TX 78358
PHONE NO 210-365-0857

L. REPRESENTATIVE: (If Other Than Owner) JAMES PAXTON
ADDRESS: REALTOR
CITY, STATE, ZIP CODE: ROCKPORT TX 78382
PHONE NO 361 386 0448

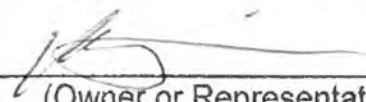
NOTE: Do you have property owner's permission for this request?
YES ☒ NO ☐

M. FILING FEE:

REZONING	\$150.00 + \$10.00 PER ACRE	# 255.70
PLANNED UNIT DEVELOPMENT	\$200.00 + \$10.00 PER ACRE	
P.U.D. REVISION	\$200.00 + \$10.00 PER ACRE	
CONDITIONAL PERMIT	\$150.00 + \$10.00 PER ACRE	

(Make check payable to the City of Rockport)

- Submit application and filing fee to the Department of Building & Development, City of Rockport; 2751 S.H. 35 Bypass, Rockport, Texas 78382.

Signed: 
(Owner or Representative)

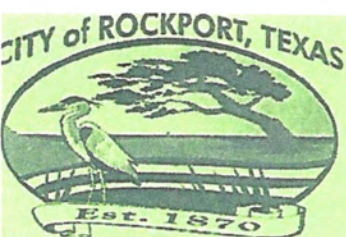
(FOR CITY USE)

Received by: _____ Date: _____ Fees Paid: \$ _____

Submitted Information (____ accepted) (____ rejected) by: _____

If rejected, reasons why: _____

Receipt No. _____



APPLICATION FOR BRUSH CLEARING PERMIT

CITY OF ROCKPORT

2751 SH 35 BYPASS, ROCKPORT, TEXAS 78382 (361)790-1125
INSPECTION REQUEST LINE (361) 790-1177

*MUST BE FILLED IN FOR SUBMITTAL
(OTHER INFORMATION MAY BE REQUIRED, DEPENDING ON SCOPE OF WORK)

*1. JOB ADDRESS

1711 + 1715 16TH ST CORNER OF SH 35 B.P.

2. LEGAL DESCRIPTION

SWICKHEIMER

LOT NO. E20F84

PT OF 83

BLOCK

200

TRACT

10.57 ACRES

*3. OWNER

MAILING ADDRESS

ZIP

PHONE

RICKEY FISHER PO BOX 682 FULION TX 78357

*4. CONTRACTOR

MAILING ADDRESS

ZIP

PHONE

*5. DESCRIPTION OF WORK

CLEAR BRUSH AND TRASH (IF ANY)

PERMIT FEE \$25.00

NOTICE

Every permit issued shall become invalid unless the work on the site authorized by such permit is commenced within 180 days after its issuance, or if the work authorized on the site by such permit is suspended or abandoned for a period of 180 days after the time the work is commenced. The building official is authorized to grant, in writing, one or more extensions of time, for periods not more than 180 days each. The extension shall be requested in writing and justifiable cause demonstrated. I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any state or local regulating construction or the performance of construction.

PRINT NAME

RICKEY FISHER

*SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT

DATE

*SIGNATURE OF OWNER (IF OWNER IS CONTRACTOR)

DATE

Homeowners acting as their own contractor must be knowledgeable in the trade for which the work is being done and that such work must be compliant with the city's building code.

WHEN PROPERLY VALIDATED BELOW- THIS IS YOUR PERMIT

PERMIT ISSUED ☐

PERMIT DENIED ☐ REASON FOR DENIAL:

BY:

DATE:

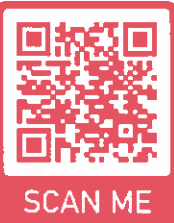
PERMIT NO.



JOINT PUBLIC HEARING Rockport City Council and Planning & Zoning Commission

NOTICE is hereby given that the Rockport City Council and the Planning & Zoning Commission will hold a Joint Public Hearing on Tuesday, December 8, 2020, at 6:30 p.m., to consider a request to rezone property located at 1711-1715 Sixteenth Street; also known as 10.57 acres embracing a portion of Tract 8, lying west of Texas State Highway 35 relief route, and the east one-half of Tract 84, Block 250, Foor and Swickheimer Subdivision, City of Rockport, Aransas County, Texas; to B-1 (General Business District) to prepare property for commercial use, currently zoned R-1 (1st Single Family Dwelling District).

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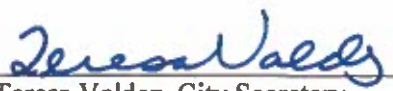


The City encourages citizens to participate and make their views known at this Public Hearing. For further information on this request, please contact the Building Department at (361) 790-1125.

POSTED the 17th day of November 2020 at 10:30 a.m., on the bulletin board at the Rockport Service Center, 2751 State Highway 35 Bypass, Rockport, Texas, and on the website www.cityofrockport.com.

PUBLISHED in *The Rockport Pilot* in the Saturday, November 21, 2020, Edition, in accordance with the City of Rockport Code of Ordinances.

CITY OF ROCKPORT, TEXAS


Teresa Valdez, City Secretary

<u>Property ID</u>	<u>Property Owner</u>	<u>Situs Address</u>	<u>Mailing Address</u>	<u>City</u>	<u>State</u>	<u>ZIP</u>
69887	Jeanie Campbell etvir W H	1718 Sixteenth	P.O. Box 401	Fulton	TX	78358-0401
44628	Lenard L Nelson	1716 Sixteenth	P.O. Box 160	Rockport	TX	78381-0160
66709	Richard & Amy Wells	1710 Sixteenth	1025 Holly Rd	Rockport	TX	78382-6334
66708	Richard & Amy Wells	1301-1339 S H 35 Bypass	1025 Holly Rd	Rockport	TX	78382-6334
62324	Richard & Amy Wells	1341 S H 35 Bypass	1025 Holly Rd	Rockport	TX	78382-6334
34442	State of Texas	IS S H 35 Bypass	1700 N Congress Ave	Austin	TX	78701-1436
71166*	Rickey & Sandra D Fischer	1711-1715 Sixteenth St	P.O. Box 682	Fulton	TX	78358-0682
56479	Glenn McElroy	1725 Sixteenth St	3830 Country Estates Dr	Corpus Christi	TX	78410-4304
52882	Seng & Monexay Chittarath	1151 S H 35 Bypass	P.O. Box 1754	Rockport	TX	78381-1754
34462	William P Wendland III	1802 Eighteenth St	P.O. Box 2194	Rockport	TX	78381-2194

ZONING CASE: 1711 SIXTEENTH
JOINT PUBLIC HEARING SUMMARY
DECEMBER 8, 2020

1. **Jim Paxton, 113 Cherry Hills (representative of applicant)**: Mr. Paxton explained that the applicant was in the process of preparing the site by brush clearing and preparing a drainage plan. The current zoning was unusual given the site's location on a major thoroughfare and he couldn't imagine a homebuilder purchasing it to build homes.

PLANNING & ZONING AGENDA
Regular Meeting: Monday, December 14, 2020

AGENDA ITEM: 6

Deliberate and act on a Final Plat submitted by Elsley, LLC, for development of a single-family dwelling development subdivision to be known as The Villages at Logan's Crossing P.U.D., Unit 1—located at 3090-3098 State Highway 35 Bypass.

SUBMITTED BY: Building & Development Department

BACKGROUND: Elsley LLC, as represented by J. Schwarz & Associates, has submitted a Final Plat for a 30-unit single-family residential subdivision phase to be known as The Villages at Logan's Crossing P.U.D., Unit 1, located at 3090-3098 State Highway 35 Bypass. The updated concept plan and PUD regulations were last approved in January 2020. Please see the attached notes on the proposed final plat along with the concept plan.

Staff has reviewed and approved the proposed final plat. It meets all City subdivision regulations.

STAFF RECOMMENDATION: Staff recommends approval of the Final Plat.

STAFF PLAT REVIEW COMMENTS

The following plat was reviewed by city staff and are recommended for approval subject to items to be completed prior to the plat being recorded or a certificate of occupancy issued.

a. **VILLAGES AT LOGAN'S CROSSING P.U.D., UNIT 1**
(FINAL PLAT – 23.502 ACRES)
Located south of FM 2165 and west of State Highway 35 Bypass

Applicant: Elsley, LLC
Engineer: J. Schwarz & Associates, Inc.

The applicant proposes to plat the property in order to develop a 30-unit single-family residential subdivision with one common-area park space and private ingress/egress easements.

1. Property is zoned Planned Unit Development with a designated single-family residential land use.
 2. Property is outside of the Special Flood Hazard Area.
 3. Lot widths exceed minimum lot width of 50 feet.
 4. Single-family lots will meet R-2 2nd Single Family Dwelling District lot standards. (25 foot front yd.; 20 foot rear yd; 5 foot side yd)
 5. New streets are proposed to be 50-foot private ingress/egress easements.
 6. Subdivision access will be available through Villages Drive to FM 2165/Pearl Street.
 7. City utilities will be located in ROW. A separate 20-to-40 foot drainage easement is on the northern border of the subdivision, and another 50-foot drainage ROW is on the eastern border of the subdivision.
 8. Lot 9 will hold a drainage retention pond and be non-buildable.
 9. Subdivision will be served by City water. Lots are sized to accommodate septic systems.
 10. Street names have been approved by E-911.
 11. **Plat meets City subdivision regulation standards.**
-

State of Texas
County of Aransas

I, J. L. Brundrett, Jr., Registered Professional Land Surveyor in the State of Texas, do hereby certify that the foregoing plat was prepared from surveys made on the ground under my direction and supervision and is true and correct, and that I have been engaged to set all lot and block corners and reference points and complete such operations without delay.

This the ____ day of _____, A.D., 2020.

J. L. Brundrett, Jr.
R.P.L.S.
Reg. No. 2133

State of Texas
County of Aransas

ELSLEY, LLC

does hereby certify that I (we) are the owner(s) of the lands embraced within the boundaries of the foregoing plat and that that I (we) have had said land surveyed and platted as shown hereon; that easements and roadways as shown, are dedicated to the public use for the installation, operation and use of public utilities; and that this map was made for the purpose of description and dedication.

This the ____ day of _____, A.D., 2020.

KEVIN JAMISON, Vice-President

State of Texas
County of Aransas

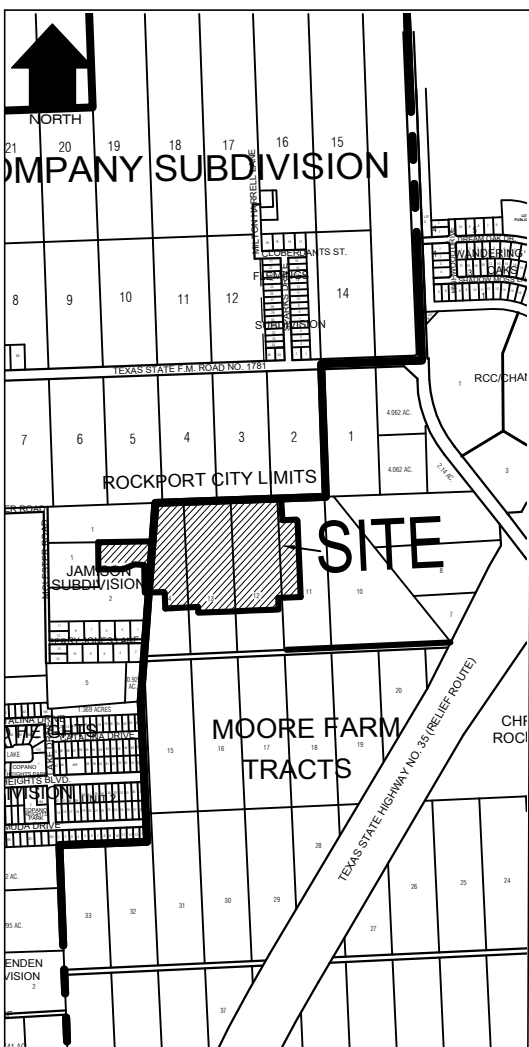
This instrument was acknowledged before me by:

KEVIN JAMISON, Vice-President

ELSLEY, LLC

This the ____ day of _____, A.D., 2020.

Notary Public in and for the State of Texas



FILE NAME: REPLATS/ROCKPORT/LOGANS CROSSING UNIT 1

FINAL PLAT

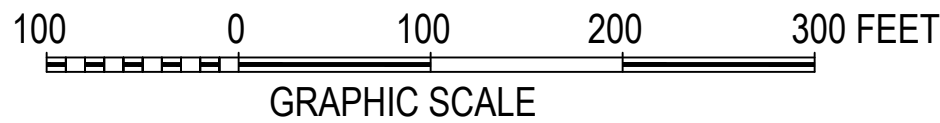
THE VILLAGES AT LOGAN'S CROSSING, UNIT 1, P.U.D.

CITY OF ROCKPORT, ARANSAS COUNTY, TEXAS,

BEING A FINAL PLAT OF 23.502 ACRES OF LAND EMBRACING A PORTION OF 28.827 ACRES TRACT, OUT OF TRACTS 12, 13 AND 14, C.H. MOORE SUBDIVISION, (ALSO CALLED THE MOORE FARM TRACTS), ACCORDING TO THE PLAT RECORDED IN VOLUME 1, PAGE 22, PLAT RECORDS OF ARANSAS COUNTY, TEXAS, AND SAID 28.827 ACRES BEING DESCRIBED IN A DEED OF RECORD UNDER CLERKS FILE NUMBER 352819, OFFICIAL PUBLIC RECORDS OF ARANSAS COUNTY, TEXAS; AND A PORTION OF A 2.827 ACRE TRACT OUT OF TRACT 11, OF SAID C.H. MOORE SUBDIVISION, AS DESCRIBED IN A DEED OF RECORD UNDER CLERKS FILE NUMBER 359844, OFFICIAL PUBLIC RECORDS OF ARANSAS COUNTY, TEXAS; AND A PORTION OF LOT 2, BLOCK 1, JAMISON SUBDIVISION, ACCORDING TO THE PLAT RECORDED IN VOLUME 6, PAGE 334, PLAT RECORDS OF ARANSAS COUNTY, TEXAS.

SCALE 1" = 100'

DECEMBER 9, 2020



Metes & Bounds Description

BEING THE DESCRIPTION OF 23.502 ACRES OF LAND EMBRACING A PORTION OF A 28.827 ACRE TRACT, OUT OF TRACTS 12, 13 AND 14, C.H. MOORE SUBDIVISION, (ALSO CALLED THE MOORE FARM TRACTS), ACCORDING TO THE PLAT RECORDED IN VOLUME 1, PAGE 22, PLAT RECORDS OF ARANSAS COUNTY, TEXAS, AND SAID 28.827 ACRES BEING DESCRIBED IN A DEED OF RECORD UNDER CLERKS FILE NUMBER 352819, OFFICIAL PUBLIC RECORDS OF ARANSAS COUNTY, TEXAS; AND A PORTION OF A 2.827 ACRE TRACT OUT OF TRACT 11, OF SAID C.H. MOORE SUBDIVISION, AS DESCRIBED IN A DEED OF RECORD UNDER CLERKS FILE NUMBER 359844, OFFICIAL PUBLIC RECORDS OF ARANSAS COUNTY, TEXAS; AND A PORTION OF LOT 2, BLOCK 1, JAMISON SUBDIVISION, ACCORDING TO THE PLAT RECORDED IN VOLUME 6, PAGE 334, PLAT RECORDS OF ARANSAS COUNTY, TEXAS, WITH SAID 23.502 ACRES OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGIN, at a 5/8" steel rebar found for the Northeast corner of Lot 1 and the Northwest corner of Lot 2, Block 1, Jamison Subdivision, and being in the South boundary line of a 5.674 acre tract, called Tract 1, of the McIester Homestead Tract, as described in a deed of record under Clerks File Number 313151, Official Public Records of Aransas County, Texas, and being an EXTERIOR corner PLACE OF BEGINNING of this survey;

THENCE, North 89°07'25" East, along and with the common boundary line of said 5.674 acre tract and said Lot 2, a distance of 431.82 feet to a 5/8" steel rebar found for the Northeast corner of said Lot 2, and being the Southeast corner of said 5.674 acre tract, and being in the West boundary line of said 28.827 acre tract, and being an INTERIOR corner of this survey;

THENCE, North 04°36'25" East, along and with the common boundary line of said 5.674 acre tract and said 28.827 acre tract, a distance of 302.50 feet to a 5/8" steel rebar found for the Northeast corner of said 5.674 acre tract and being the Northwest corner of said 28.827 acre tract, and being in the South boundary line of Tract 5, Coleman Fallon Pasture Company Subdivision, according to the plat recorded in Volume 1, Pages 14 and 15, Plat Records of Aransas County, Texas, and being the NORTHWEST corner of this survey;

THENCE, North 88°01'32" East, along and with the common boundary line of said 28.827 acre tract and said Tracts 5, 4, 3 and 2, of Coleman Fallon Pasture Company Subdivision, a distance of 975.59 feet to a 5/8" steel rebar found for the common corner of Tracts 11 and 12, of said C.H. Moore Subdivision, and being the NORTHEAST corner of this survey;

THENCE, South 02°59'20" East, along and with the common boundary line of Tracts 11 and 12, a distance of 170.0 feet to a 5/8" steel rebar found for the Northwest corner of said 28.827 acre tract, and being an INTERIOR corner of this survey;

THENCE, North 87°56'49" East, along and with the North boundary line of said 28.827 acre tract, a distance of 108.13 feet to a 5/8" steel rebar set for the Northwest corner of a 1.179 acre drainage easement, as described in a deed of record under Clerks File Number 354684, Official Public Records of Aransas County, Texas, and along the point of curvature of a circular curve to the right with a central angle of 89°38'04", a radius of 10.0 feet, a chord of 14.10 feet, a tangent of 9.94 feet, for an arc length of 15.64 feet to a 5/8" steel rebar set at the point of tangency and being an EXTERIOR corner of this survey;

THENCE, South 02°25'58" East, along and with the common boundary line of said 2.827 acre tract and said 1.179 acre tract, a distance of 596.09 feet to a 5/8" steel rebar set for an EXTERIOR corner of this survey;

THENCE, South 87°36'25" West, crossing said 2.827 acre tract and said 28.827 acre tract, a distance of 176.77 feet to a 5/8" steel rebar set for an INTERIOR corner of this survey;

THENCE, South 02°23'35" East, a distance of 89.75 feet to a 5/8" steel rebar set for the SOUTHEAST corner of this survey;

THENCE, continuing across said 28.827 acre tract as follows: South 87°36'25" West, a distance of 628.0 feet to a 5/8" steel rebar set for an EXTERIOR corner of this survey; THENCE, North 02°23'35" West, a distance of 45.0 feet to a 5/8" steel rebar set for an INTERIOR corner of this survey; THENCE, South 87°36'25" West, a distance of 256.24 feet to a 5/8" steel rebar set for an EXTERIOR corner of this survey; THENCE, North 02°23'34" West, a distance of 116.57 feet to a 5/8" steel rebar set along the point of curvature of a circular curve to the left with a central angle of 87°48'56", a radius of 10.0 feet, a chord of 13.87 feet, a tangent of 9.63 feet, for an arc distance of 15.33 feet to a 5/8" steel rebar set at the point of tangency and being an EXTERIOR corner of this survey;

THENCE, crossing said 28.827 acre tract and Lot 2, Block 1, Jamison Subdivision, South 89°07'26" West, a distance of 145.82 feet, to a 5/8" steel rebar set for an EXTERIOR corner of this survey;

THENCE, North 00°52'34" West, crossing said Lot 2, a distance of 216.11 feet to a 5/8" steel rebar set for an INTERIOR corner of this survey;

THENCE, North 85°39'14" West, a distance of 75.53 feet to a 5/8" steel rebar set for an angle point and INTERIOR corner of this survey;

THENCE, South 66°11'29" West, a distance of 97.49 feet to a 5/8" steel rebar set for an angle point and EXTERIOR corner of this survey;

THENCE, South 89°07'26" West, a distance of 193.50 feet to a 5/8" steel rebar set in the common boundary line of Lots 1 and 2, of said Jamison Subdivision, and being an EXTERIOR corner of this survey;

THENCE, North 00°52'35" West, along and with the common boundary line of said Lots 1 and 2, a distance of 215.17 feet to the PLACE OF BEGINNING of this survey and containing 23.502 acres of land, more or less.

LINE DATA

L1 = N02°23'35"W, 45.0'
L2 = N85°39'14"W, 75.53'
L3 = S66°11'29"W, 97.49'
L4 = S02°59'20"E, 0.19'

CURVE DATA

C1	C2	C3
D = 89°38'04"	D = 87°48'56"	D = 91°31'57"
R = 10.0'	R = 10.0'	R = 10.0'
CH = 14.10'	CH = 13.87'	CH = 14.33'
T = 9.94'	T = 9.63'	T = 10.27'
L = 15.64'	L = 15.33'	L = 15.98'

C4	C5	C6
D = 90°00'42"	D = 84°21'46"	D = 76°19'16"
R = 10.0'	R = 250.0'	R = 300.0'
CH = 14.14'	CH = 335.74'	CH = 370.72'
T = 10.0'	T = 226.54'	T = 235.74'
L = 15.71'	L = 368.10'	L = 399.61'

LEGEND:

- "B.L." INDICATES BUILDING LINE
- "U.E." INDICATES PUBLIC UTILITY EASEMENT
- "D.R.O.W." INDICATES DRAINAGE RIGHT-OF-WAY
- S.F. INDICATES SQUARE FEET
- "O" INDICATES SET 5/8" STEEL REBAR
- INDICATES FND. 5/8" STEEL REBAR

State of Texas
County of Aransas

This plat of the herein described property is approved for filing of record in Aransas County, Texas, by the Planning and Zoning Commission of Rockport, Texas, in accordance with the Land Subdivision Ordinance of Rockport, Texas, and Vernon's Ann Civ. Statute, Article 974A.

This the ____ day of _____, A.D. 2020.

Chair

Secretary

Griffith & Brundrett
Surveying & Engineering, Inc.
411 S. Pearl St., P.O. Box 2322
Rockport, Texas 78381
☎: 361-729-6479
☎: 361-729-7933
✉: jerryb@gsurveyor.com
🌐: www.gbsurveyor.com
TBPLS FIRM NO. 10004800

This is to certify that I have consulted the Federal Flood Hazard Map dated **2-17-16** and found that the property described herein is _____ (or) is not **X** located in a "Special Flood Hazard Area."

Flood Zone **"X"**, Base Elevation **N/A**.

Panel No. **0240G**.

Community No. **485504**.

This information is based on scaling the location of this survey on the above referenced map and is intended to be used to determine insurance rates only and not identify specific flooding conditions.

SUBJECT TO CHANGE BY FEMA.

1) 5/8" Steel Rebars found or set at all property corners unless otherwise shown. All set 5/8" steel rebar capped with "Griffith & Brundrett." ○ = Set 5/8" steel rebar

2) Deed Bearing, CF#352819, O.P.R.A.C.T., used for directional control.

3) Total platted area contains **23.502** acres or **1,023,734** square feet of land.

Buildable Lots **798,783** square feet of land.

Lot 9, Common Area **72,744** square feet of land.

Lot 13, Block 2, **152,207** square feet of land.

4) Property falls within City Limits and must comply with all city codes, regulations and set backs.

25' Front Bldg. Line, 20' Rear Bldg. Line, 5' Side Yard (UNLESS OTHERWISE INDICATED)

5) Lot 9 - Common Area (Non-buildable) Detention Pond

6) Lot 13, Block 2 - Private Ingress/Egress & Public Utility Esmt./ Drainage Easement

7) 1.848 Acre Easement, called Villages Drive, is a private ingress/egress easement to FM 2165 / Pearl Street.

State of Texas
County of Aransas

I, Carrie Arrington, Clerk of the County Court in and for Aransas County, Texas, do hereby certify that the foregoing instrument of writing dated the _____ day of _____, A.D. 2020,

with its certificate of authentication was filed for record in my office the _____ day of _____, A.D. 2020,

at _____ o'clock _____, m. and duly recorded the _____ day of _____, A.D. 2020, at _____ o'clock _____, in the Plat Records of Aransas County,

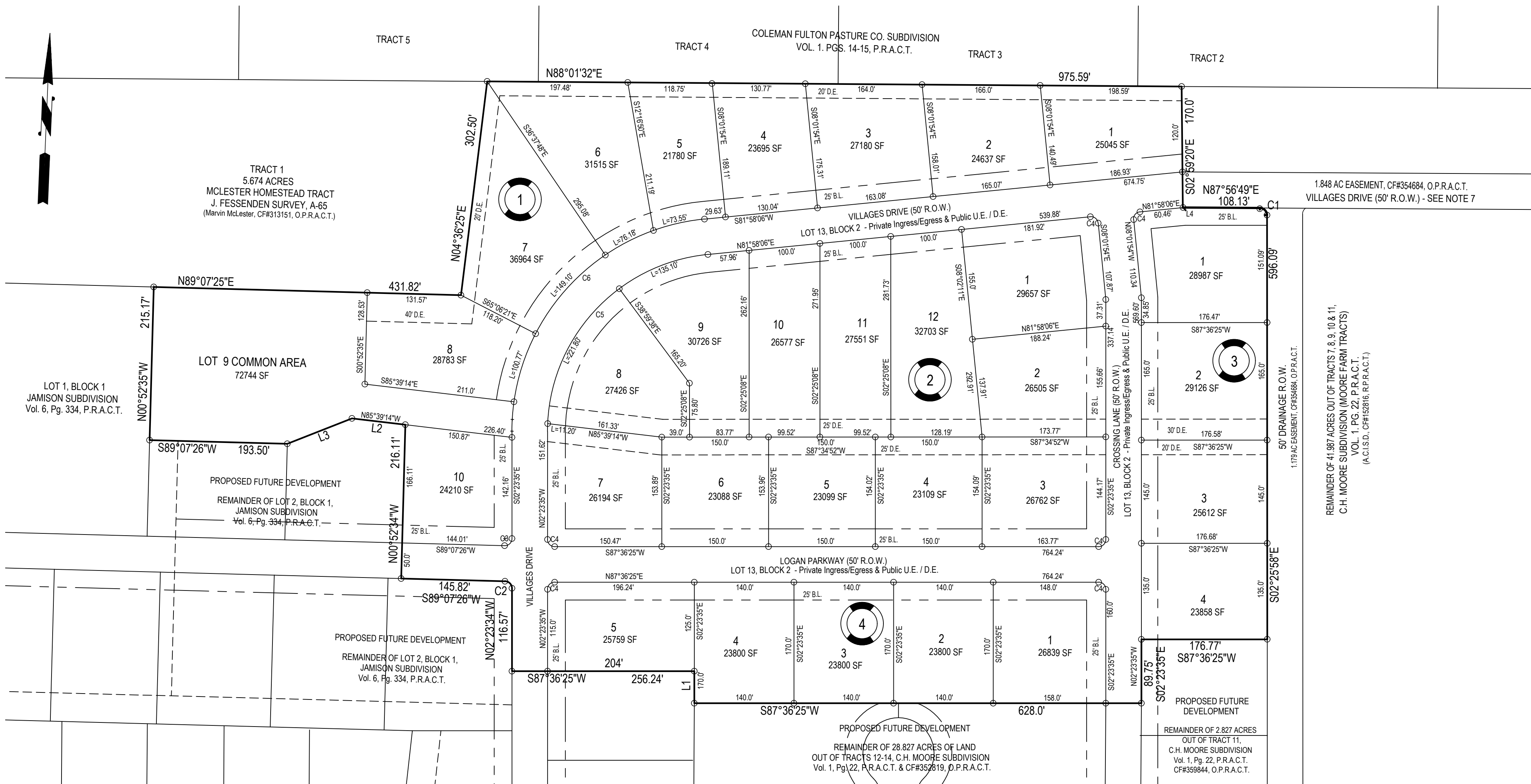
Texas in Volume _____, Page _____.

Witness my hand and seal of the County Court, in and for Aransas County, Texas, at office in Rockport, Texas, the day and year last written above.

Carrie Arrington

By: _____ Deputy

Clerk's File No. _____



FINAL PLAT

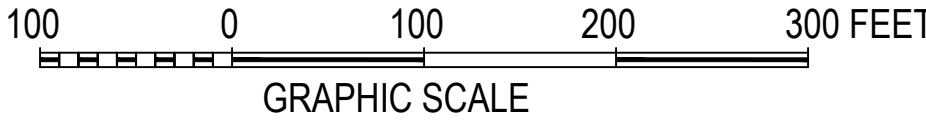
THE VILLAGES AT LOGAN'S CROSSING, UNIT 1, P.U.D.

CITY OF ROCKPORT, ARANSAS COUNTY, TEXAS,

BEING A FINAL PLAT OF 23.502 ACRES OF LAND EMBRACING A PORTION OF 28.827 ACRES TRACT, OUT OF TRACTS 12, 13 AND 14, C.H. MOORE SUBDIVISION, (ALSO CALLED THE MOORE FARM TRACTS), ACCORDING TO THE PLAT RECORDED IN VOLUME 1, PAGE 22, PLAT RECORDS OF ARANSAS COUNTY, TEXAS, AND SAID 28.827 ACRES BEING DESCRIBED IN A DEED OF RECORD UNDER CLERKS FILE NUMBER 352819, OFFICIAL PUBLIC RECORDS OF ARANSAS COUNTY, TEXAS; AND A PORTION OF A 2.827 ACRE TRACT OUT OF TRACT 11, OF SAID C.H. MOORE SUBDIVISION, AS DESCRIBED IN A DEED OF RECORD UNDER CLERKS FILE NUMBER 359844, OFFICIAL PUBLIC RECORDS OF ARANSAS COUNTY, TEXAS; AND A PORTION OF LOT 2, BLOCK 1, JAMISON SUBDIVISION, ACCORDING TO THE PLAT RECORDED IN VOLUME 6, PAGE 334, PLAT RECORDS OF ARANSAS COUNTY, TEXAS.

SCALE 1" = 100'

DECEMBER 9, 2020



LEGEND:

- "B.L." INDICATES BUILDING LINE
- "U.E." INDICATES PUBLIC UTILITY EASEMENT
- "D.E." INDICATES DRAINAGE EASEMENT
- S.F. INDICATES SQUARE FEET
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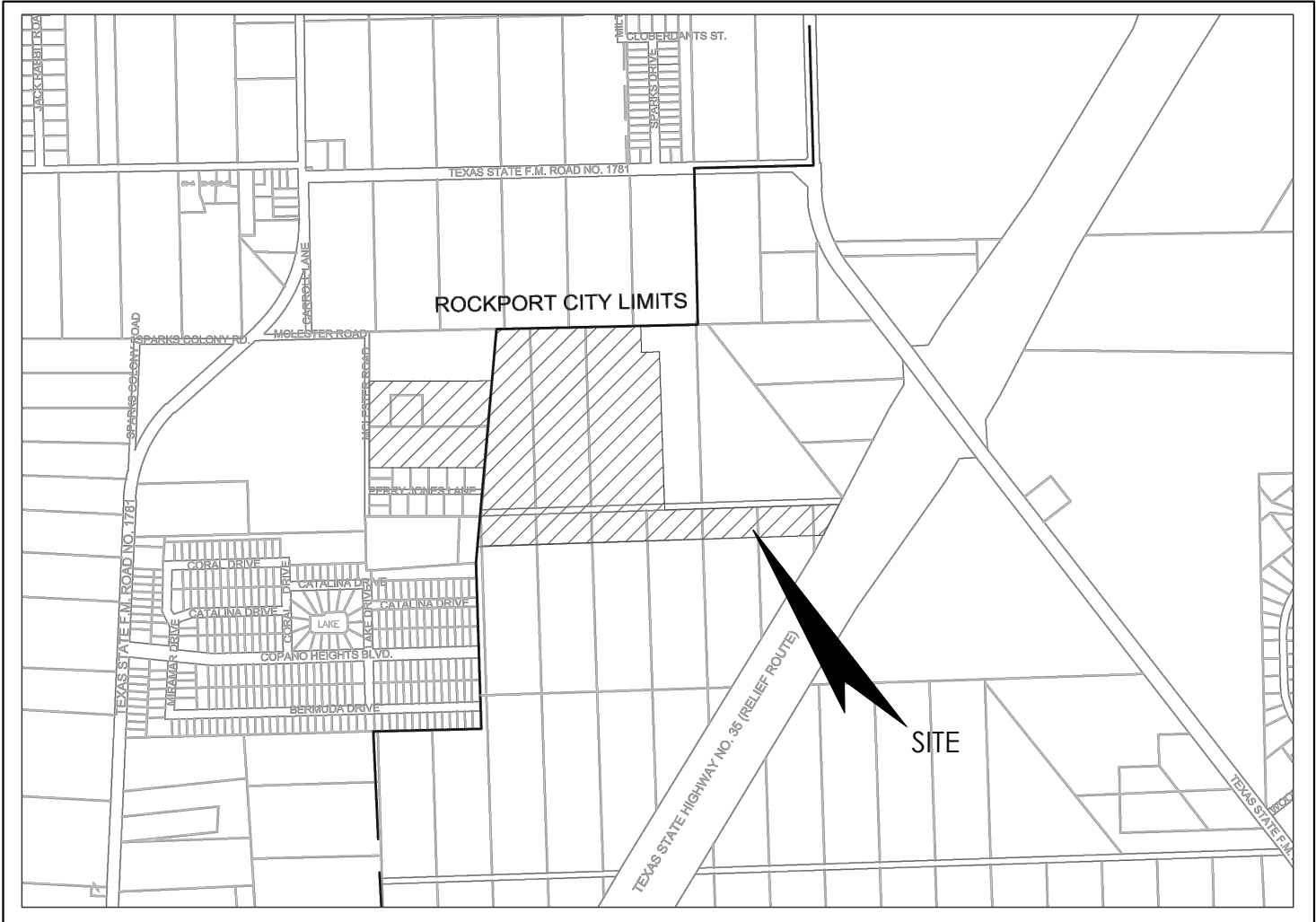
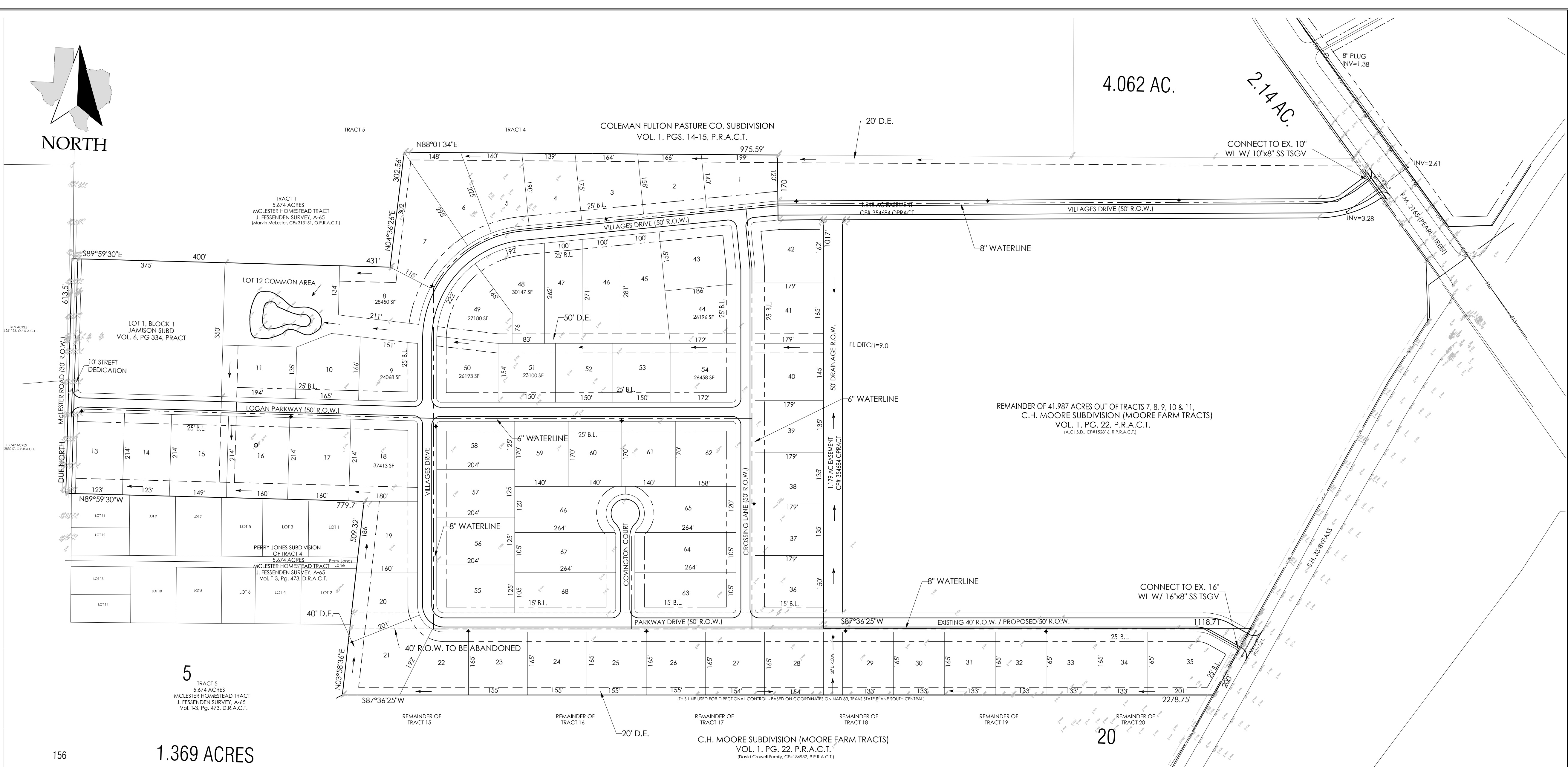
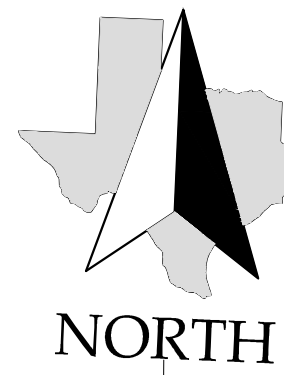
CURVE DATA

- | | | |
|--|--|--|
| C1
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Griffith & Brundrett
Surveying & Engineering, Inc.
411 S. Pearl St., P.O. Box 2322
Rockport, Texas 78381
P: 361-729-6479
F: 361-729-7933
E: jerryb@gbsurveyor.com
W: www.gbsurveyor.com

This is to certify that I have consulted the Federal Flood Hazard Map dated **2-17-16**, and found that the property described herein is (or) is not **X** located in a "Special Flood Hazard Area."
Flood Zone **"X"**, Base Elevation **N/A**,
Panel No. **0240G**,
Community No. **485504**.
This information is based on scaling the location of this survey on the above referenced map and is intended to be used to determine insurance rates only and not identify specific flooding conditions.
SUBJECT TO CHANGE BY FEMA.

- 5/8" Steel Rebars found or set at all property corners unless otherwise shown. All set 5/8" steel rebar capped with "Griffith & Brundrett." O = Set 5/8" steel rebar
- Deed Bearing, CF#352819, O.P.R.A.C.T., used for directional control.
- Total platted area contains **23.502** acres or **1,023,734** square feet of land.
Buildable Lots **798,783** square feet of land.
Lot 9, Common Area **72,744** square feet of land.
Lot 13, Block 2 **152,207** square feet of land.
- Property falls within City Limits and must comply with all city codes, regulations and set backs.
25' Front Bldg. Line, 20' Rear Bldg. Line, 5' Side Yard (UNLESS OTHERWISE INDICATED)
- Lot 9 - Common Area (Non-buildable) Detention Pond
- Lot 13, Block 2 - Private Ingress/Egress & Public Utility Esmt./Drainage Easement
- 1.848 Acre Easement, called Villages Drive, is a private ingress/egress easement to FM 2165 / Pearl Street.



LOCATION MAP
N.T.S.

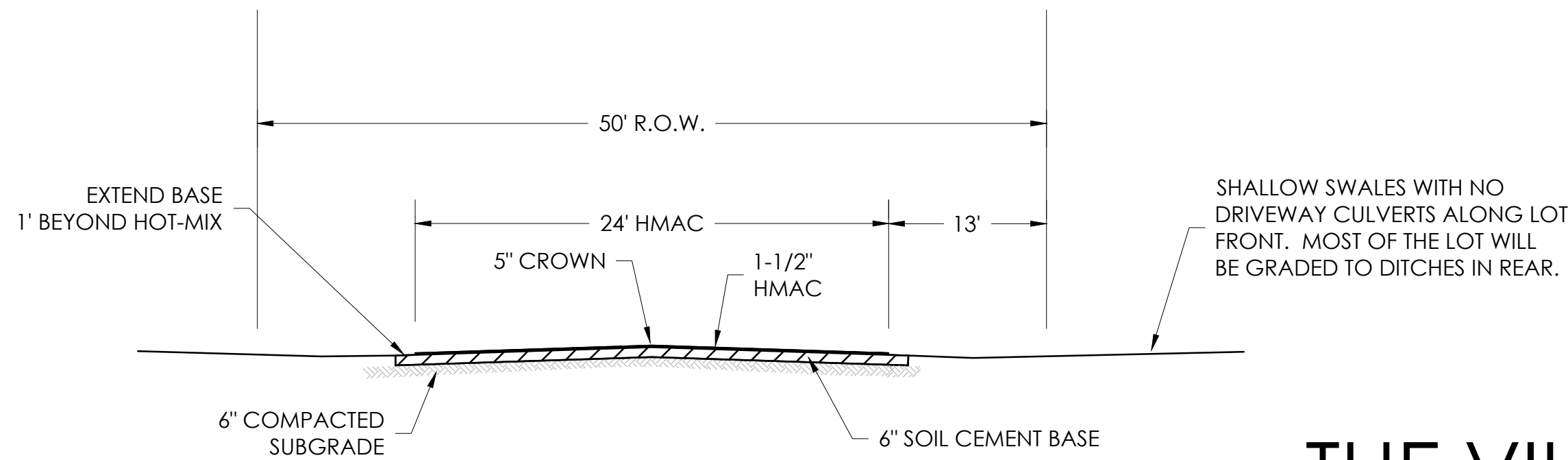
- NOTES:
1. DEVELOPER IS PROPOSING 67 SINGLE-FAMILY RESIDENTIAL LOTS WITH ONE COMMON PARK AREA.
 2. NEW STREETS ARE PROPOSED TO BE PRIVATE.
 3. STREETS WILL HAVE MINOR SWALES WITH NO CULVERTS ALONG THE FRONT OF THE LOTS. DRAINAGE WILL BE ALONG THE LOT REAR.
 4. DRAINAGE EASEMENTS PROPOSED ARE IN CONFORMANCE WITH THE CITY OF ROCKPORT MASTER DRAINAGE PLAN.
 5. LOTS WILL BE MINIMUM HALF-ACRE IN SIZE AND WILL BE SERVED BY CITY WATER AND INDIVIDUAL SEPTIC TANKS.
 6. 5' SIDE YARDS REQUIRED, UNLESS SHOWN OTHERWISE.

PROPERTY ADDRESS
3090-3098 SH 35 BYPASS, ROCKPORT

FEMA FLOOD ZONE
THE PROPERTY IS ENTIRELY LOCATED IN FEMA ZONE "X", OUTSIDE THE FLOOD ZONE

ZONING
PROPERTY IS CURRENTLY ZONED P.U.D.

CONCEPTUAL PLAN IS FOR PRELIMINARY REVIEW AND APPROVAL ONLY.
PLAN IS NOT AUTHORIZED TO BE RECORDED IN THE PLAT RECORDS OF ARANSAS COUNTY.



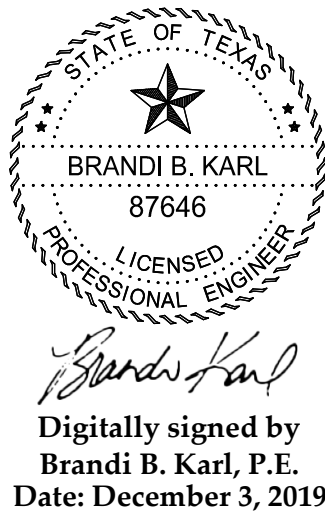
TYPICAL 50' RIGHT-OF-WAY STREET SECTION
N.T.S.

SPECIFICATIONS:
1-1/2" HOT MIX ASPHALTIC CONCRETE (TYPE D)
PRIME COAT MC-30 AT 0.15 GAL/SY
6" CEMENT-STABILIZED SOIL BASE (11% BY WEIGHT), WITH
2" CRUSHED CONCRETE, COMPACTED TO 98% STD. PROCTOR
DENSITY PER ASTM D698 ±2% OPT. MOISTURE CONTENT
1' BEYOND HMA
6" COMPACTED SUBGRADE, 1' BEYOND HMA, COMPACTED
TO 95% STD. PROC. DENSITY (ASTM D698)

CONCEPTUAL PLAN

THE VILLAGES AT LOGAN'S CROSSING, PUD

LEGAL DESCRIPTION
APPROXIMATELY 50.5 ACRES OF LAND EMBRACING ALL OF TRACTS 2 AND 3, MCLESTER HOMESTEAD TRACT, RECORDED IN CLERK'S FILE 299881, OLD PROPERTY RECORDS, ARANSAS COUNTY, TEXAS. PORTIONS OF TRACTS 11 AND 15-21, AND ALL OF LOTS 12, 13 & 14, C.H. MOORE SUBDIVISION, ALSO CALLED THE MOORE FARM TRACTS, J. FESSENDEN SURVEY A-65, CITY OF ROCKPORT, ACCORDING TO THE PLAT RECORDED IN VOLUME 1, PAGE 22, PLAT RECORDS OF ARANSAS COUNTY, TEXAS.



Digitally signed by
Brandi B. Karl, P.E.
Date: December 3, 2019

OWNER:
ELSLEY, LLC
P.O. BOX 613
ROCKPORT, TX 78381
ATTN: KEVIN JAMISON
(361) 229-9535

ENGINEER:
J. SCHWARZ & ASSOC., INC.
BRANDI B. KARL, P.E.
P.O. BOX 60733
CORPUS CHRISTI, TX 78466
(361) 774-4534

SURVEYOR:
GRIFFITH & BRUNDRETT
SURVEYING & ENGINEERING
411 S. PEARL ST
ROCKPORT, TX 78382
(361) 729-6479



CONCEPT PLAN

THE VILLAGES AT LOGAN'S CROSSING, P.U.D.

REVISION	DATE	DATE	FILE NAME	REVISION NUMBER	SHEET NUMBER
		12/3/19	large lot layout 2.dwg	1	001
		2018-002	ENGINEER	SCALE	1" = 150'
			BBK		OF 001

ELSLEY, LLC AND CITY OF ROCKPORT DEVELOPMENT AGREEMENT

This Development Agreement (this “Agreement”) for The Villages at Logan’s Crossing is made as of the _____ of _____, 2019, by and among the City of Rockport, a Texas municipal corporation (the “City”), Elsley, LLC, a Texas limited liability corporation (the “Developer”). The City and Developer are sometimes referred to herein as the “Parties.” This Agreement is being made by the Parties pursuant to Section 212.172 of the Texas Local Government Code, as amended.

1. The Property. The property which is the subject of this Agreement (the “Property”) is comprised of the following lands with an area of approximately 49 acres owned by Developer:

- Tract 1: Moore Farm Tracts, all of tracts 12-14 and the north part of tracts 15-21, encompassing an area of approximately 38.111 acres.
- Tract 2: Moore Farm Tracts, part of tract 11, encompassing an area of approximately 2.827 acres.
- Tract 3: A roadway and utility easement embracing 1.848 acres of land out of tracts 9-11 of the Moore Farm Tracts.
- Tract 4: A roadway and utility easement embracing 1.179 acres of land out of tract 11 of the Moore Farm Tracts.
- Tract 5: Joseph Fessenden Survey, part of tract 2 and all of tract 3 of the unrecorded McLester Estate Subdivision, encompassing an area of approximately 8.133 acres

The Property specifically includes all rights, privileges, and appurtenances pertaining to the above lands, including Landowner’s right, title and interest in any utilities, adjacent streets, alleys, strips, gores, and rights-of-way.

2. Development Plan. The City and the Developer agree that the Property shall be developed according to the terms of this Agreement. The Property shall be developed and subdivided according to the development plan attached as Exhibit A and incorporated by reference, except as may be modified from time to time by written agreement of the City and the Developer. The Developer shall plat the Property in various phases in accordance with state law and the City’s ordinances, except as specifically provided in this Agreement. The City and the Developer acknowledge that minor adjustments to the proposed layout may occur as part of the platting process in order to better align lots, streets and other improvements without constituting an amendment to this development plan.

3. Planned Unit Development District. The Parties agree that the Property shall be developed as a planned unit development district and will meet or exceed the following

requirements in the City's Zoning Ordinance, Sec.118-19 Planned Unit Development District;

- (a) Single-Family Residential Density. The detached residential density shall not exceed 12 units per acre
- (b) Multi-Family Residential Density. The attached residential density shall not exceed 28 units per acre
- (c) Single-Family Residential Minimum Lot Size. The minimum area of the lot for single family dwellings shall be the same as required in an R-2 district (5,000 square feet).
- (d) Multi-Family Residential Lot Size. The minimum area of the lot for multi-family dwellings shall be twenty-two (2,200) square feet per dwelling unit. The minimum area of the lot for single-family dwellings shall be the same as required in an R-5 district.
- (e) Common Area Requirements. The following requirements shall apply to the common areas to be located on the Property:
 - (1) Common Area Maintenance. The common areas shall be owned and maintained in perpetuity by a homeowner's association established pursuant to Chapter 209 of the Texas Property Code.
 - (2) No Habitable Structures. Habitable structures shall be prohibited within the common areas with the exception of a community clubhouse.

The dimensional and area regulations contained in this section shall not apply to common areas or lots owned by the homeowner's association for the Property.

4. Street, Drainage and Utility Construction Plans. In conjunction with, the final plat approval of each phase of development, the Developer shall prepare and submit construction plans and specifications for review and approval by the City of all street, drainage, and utilities. The streets in the development will be private roadways; however, the streets will be constructed in a manner that if the residents desired in the future, they may be accepted by the City.

5. Closure of Unopened Paper Street Right-Of-Way. The City agrees that the existing street right-of-way on the Property is inconsistent with the development plan and shall be closed, abandoned or moved in location and widened upon approval of the Planned Unit Development District at no cost to Developer. The City agrees that the new roadways provided in the development of the Property will provide greater use for the residents of the development than the current paper road at its present location and width.

6. Sanitary Sewer Service. The planned size for the lots in the development are a minimum of 1/2 acre. Each home will have an On Site Sewage Facility (OSSF) which will be designed by a licensed person authorized by the State of Texas to design such systems. Each OSSF will be permitted, installed and inspected according to the Aransas County Commissioners Court Order #0-07-02 dated October 8th, 2007.

7. Assignment. The Developer's rights and obligations under this Agreement may be assigned by them to one or more purchasers of all or any portion of the Property.

8. Binding. This Agreement shall be binding upon the Parties, their successors and assigns throughout the term and any extension terms in accordance with the provisions of Chapter 212 of the Texas Local Government Code.

9. Chapter 245 Permit. Pursuant to the provision of Section 212.172 of the Texas Local Government Code, this Agreement shall serve as a "permit" as defined by Chapter 245 of the Local Government Code.

10. Notices. Any notice to be given to a Party shall be in writing and may be carried out by personal delivery or by sending said notice by certified mail, return receipt requested, to the address set forth below. Notice shall be deemed given when deposited with the United States Postal Service with sufficient postage affixed and addressed as follows:

To the City: City of Rockport
 Attn: City Manager
 2751 SH 35 Bypass
 Rockport, Texas 78381

To Developer: Elsley, LLC
 PO Box 613
 Rockport, Texas 78381

Any party may change the address for notice to it by giving notice of such change in accordance with the provisions of this section.

11. Governing Law. This Agreement must be construed and enforced in accordance with the laws of the State of Texas, as they apply to contracts performed within the State of Texas and without regard to any choice of law rules or principles to the contrary.

12. Severability. The provisions of this Agreement are severable and, in the event any word, phrase, clause, sentence, paragraph, section, or other provision of this Agreement, or the application thereof to any person or circumstance, shall ever be held or determined to be invalid, illegal, or unenforceable for any reason, and the extent of such invalidity or unenforceability does not cause substantial deviation from the underlying intent of the parties as expressed in this Agreement, then such provision shall be deemed severed from this Agreement with respect to such person, entity or circumstance, without invalidating the remainder of this Agreement or the application of such provision to other persons, entities or circumstances except to the extent that the severed provision(s) is a dependent substantive term the removal of which affects the intent and effect of the remaining provisions.

13. Amendment. This Agreement may be amended only with the written consent of all Parties, or successors and assigns with respect to all or such portion of the Property to which

such amendment may apply, and with approval of the governing body of the City.

14. Counterpart Originals. This Agreement may be executed in multiple counterparts, each of which shall be deemed to be an original.

15. Entire Agreement. This Agreement, together with any exhibits attached hereto, constitutes the entire agreement between Parties hereto, and may not be amended except by a writing signed by all Parties and dated subsequent to the date hereof.

EXECUTED in multiple originals and effective as of the ____ day of _____ 2019.

CITY OF ROCKPORT, TEXAS

By: _____

Name: _____

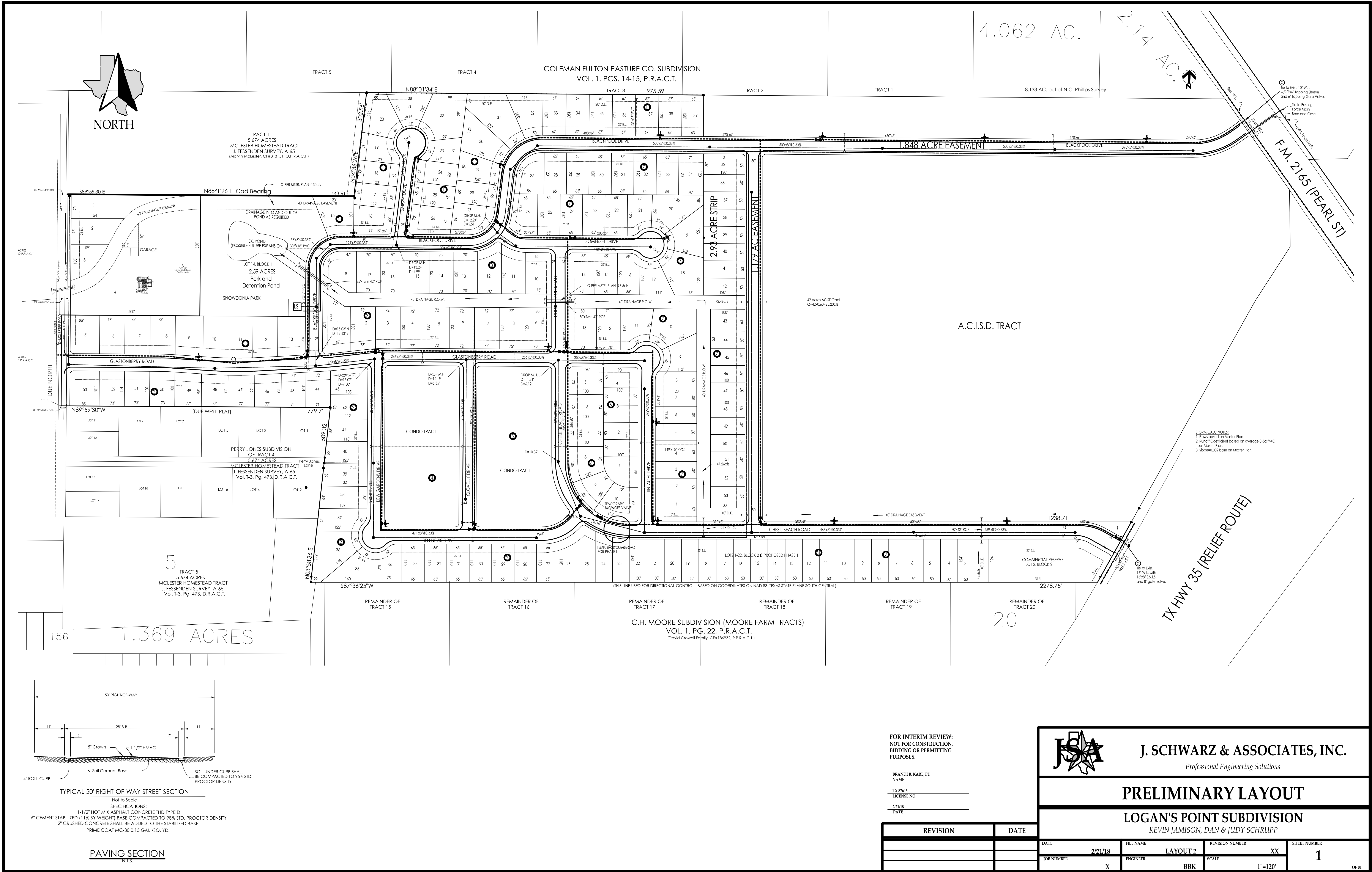
Title: _____

Elsley, LLC

By: _____

Name: _____

Title: _____





Plat Application & Checklist

Building & Development Services Department

This application requests the information and documentation required to review and approve a subdivision or plat as per Chapter 90: Subdivisions and Platting of the City of Rockport Code of Ordinances (available at www.cityofrockport.com/200/Ordinances-Resolutions).

CATEGORIZATION:

CLASSIFICATION OF PLAT: ☐ Administrative ☐ Minor Subdivision ☒ Major Subdivision

A Major Subdivision requires a Concept Plan and review of a Preliminary Plat prior to the application and review of a Final Plat. A Minor Subdivision or a Re-plat may require a Concept Plan depending on the magnitude or complexity of the subdivision.

TYPE OF PLAT TO BE REVIEWED: ☐ Concept Plan & Preliminary Plat ☒ Final Plat ☐ Re-plat

GENERAL INFORMATION:

Address: 3090-3098 SH 35 BYPASS, ROCKPORT 8819483

The Villages at Logan's Crossing, P.U.D., Unit 1

Lot:

Other Legal Description: 23.502 Acres of land embracing a portion of 28.827 acres out of Tracts 12, 13, and 14 C.H. Moore Subdivision, according to the plat recorded in Volume 1, Page 22, Plat Records of Aransas County, Texas.

PROPERTY OWNER OF RECORD:

Name: Attn: Kevin Jamison

Company: Elsley, LLC

Mailing Address: P.O. Box 613
Rockport, TX 78381

Phone: 361-229-9535

Email: kevinj@elsleyllc.com

ENGINEER/PLANNER/SURVEYOR:

Name: Brandi B. Karl, P.E.

Company: J. Schwarz & Associates, Inc.

Mailing Address: P.O. Box 60733
Corpus Christi, TX 78466

Phone: 361-774-4534

Email: brandi@jsatx.com

BACKGROUND

Project Name: The Villages at Logan's Crossing, P.U.D., Unit 1

- Present Zoning District: P.U.D. Are you requesting a zoning change? YES NO
- If yes, which Zoning District is requested? _____ YES NO
- Do all proposed lots have access to existing public streets? YES NO
- Do any of the proposed lots require the extension of public facilities such as: right of ways, easements, water, sewer, etc.? YES NO
- Is the existing lot in compliance with the Storm Drainage Master Plan? YES NO

EXISTING PROPERTY CONTAINS: (Be specific on all that are applicable)

Land Use:	Number of Lots or Units	Acres of Use/Contents of Each Lot	Square Footage of Building Space
Undeveloped	1	23.50 Ac	
Single Family			
Garden/Patio/ Zero-lot line			
Duplex			
Townhomes			
Multi-family			
Manufactured Housing			
Hotel/Motel			
Condo Regime			
Office			
Restaurant			
Commercial/Retail			
Warehouse/Showroom			
Industrial			
RV Park/ Pads			
Public Facilities: (Schools, Churches, etc.)			
Park/ Open Spaces			
Trees over 6" in diameter			
Wetlands / Other Environmentally Sensitive Natural Infrastructure			
Special Flood Hazard Zone			
Other:			
Public/ Private Street R.O.W			
TOTAL		23.50 Ac	

Please describe below any other information unique or pertinent to the platting of the property.

The developer obtained two easements through the adjacent ACISD tract for the purpose of utility connections and having a secondary access to Pearl Street. The north/south easement will be used for a drainage corridor and the east/west easement will be used for a street right-of-way and water loop line. The developer has extended the gravity sewer across Pearl Street to serve potential development of the ACISD property.

PROPOSED SUBDIVISION/PLATS CONTAIN: (Be specific on all that are applicable)

Land Use:	Number of Lots or Units	Acres of Use/Contents of Each Lot	Square Footage of Building Space
Undeveloped			
Single Family	30	18.34 Ac	
Garden/Patio/ Zero-lot line			
Duplex			
Townhomes			
Multi-family			
Manufactured Housing			
Hotel/Motel			
Condo Regime			
Office			
Restaurant			
Commercial/Retail			
Warehouse/Showroom			
Industrial			
RV Park/ Pads (only through approved CUP)			
Public Facilities: (Schools, Churches, etc.)			
Park/ Open Spaces	1	1.67 Ac	
Preserve for Wetlands / Environmentally Sensitive Natural Infrastructure			
Special Flood Hazard Zone			
Other:			
Public/ Private Street R.O.W	1	3.49 Ac	
TOTAL	32	50.5 Ac	

REQUIRED PLAT COPIES & RECORDING PROCEDURES

- 1. Preliminary Plat: Two (2) copies of the preliminary plat drawn to a scale of not less than 1" = 100' plus ten (10) reduced copies (no smaller than 11"x17"). An electronic copy is requested but not required. Request a Concept Plan Checklist. This additional information and documentation should be submitted along with the Application & Preliminary Plat. A site plan or survey should be submitted showing any encroachments and improvements, existing and/or planned.
 - 2. Final Plat/Re-plat: One (1) original "Vellum", plus three (3) full size copies, and one (1) 11"x17' reduced copy. May require a prior Concept Plan. An electronic copy is requested but not required.
 - 3. Administrative Plats/ Minor Re-Plats: Only a final plat required. Submit in accordance with 2 above. An electronic copy is requested but not required.
- After official approval, the applicant's surveyor is responsible for coordinating the recording of all Final Plats and Re-plats at the Aransas County Court House and must then submit one (1) signed full scale Mylar and one (1) print for the City files.

FINAL PLAT/RE-PLAT CHECKLIST:

Pursuant to the City of Rockport Platting & Subdivision Ordinance the following items are required to be shown on the plat or submitted with the plat for consideration. Please use the boxes at the left to verify the completeness of the information submitted.

INDICATE IF ON PLAT:				CITY REVIEW:	
YES	NO	N/A	1. BASIC INFORMATION	YES	NO
X			A. Subdivision/ Project Name		
X			B. Name & Address of Owner		
X			C. Title: "Final Plat" / "Re-plat" / "Preliminary Plat"		
X			D. Name & Address of Responsible Surveyor, Engineer, Planner Responsible for Design		
X			E. Date		
X			F. Scale		
X			G. North Arrow		
X			H. Small Scale Location Map		
X			I. Names of Adjacent Subdivisions		

INDICATE IF ON PLAT:				CITY REVIEW:	
YES	NO	N/A	2. SURVEYING	YES	NO
X			A. Boundary Survey of Plat (Bearing & Distances)		
X			B. Reference to Original Survey or Previous Subdivision		
X			C. Monuments Shown on Plat		
	X		D. Monuments Set in Field		
X			E. Legal Description of Subdivision Outer Boundary		

Monuments set after construction completion, prior to filing

INDICATE IF ON PLAT:				CITY REVIEW:	
YES	NO	N/A	3. INTERIOR DETAILS	YES	NO
X			A. Dimension & Location of All Lots, Streets, Easements, Parks, etc.		
X			B. Name of Streets (New & Old)		
X			C. Lot & Block Numbers		
X			D. Location, Names, Widths of approved Streets, Alleys & Easements, All Right of Ways		
X			E. Detail Curve Information		
X			F. Building Lines, Exterior & Interior		
X			G. Existing Natural Features, Watercourses & Other Physical Features		
X			H. Zoning District Designation		
	X		I. Tree Plan (Showing Significant Trees in Proposed R-O-W)		
X			J. Flood Hazard Areas		

INDICATE IF ON PLAT

CITY REVIEW

YES	NO	N/A	4. CERTIFICATION	YES	NO
X			A. Licensed Surveyor's Signature Plate		
X			B. Planning & Zoning Commission Signature late		
X			C. Owner's Signature(s) Plate		
X			D. Lien Holder(s) or Others' Signature Plate		
		X	E. City Engineer Signature Plate		
X			F. Aransas County Clerk Signature Plate		

INDICATE IF ON PLAT

CITY REVIEW

YES	NO	N/A	5. TAXES	YES	NO
		X	A. Certificate of All Past & Current Taxes Paid on Property Being Platted		

INDICATE IF ON PLAT

CITY REVIEW

YES	NO	N/A	6. LEGAL STIPULATIONS	YES	NO
		X	A. Copy of All Deed Restrictions Pertaining to the Subject Property		
		X	B. Copy of Condominium Regime		
		X	C. Copy of Warranty Deed		

NOTE: 2 Sets of Construction Plans showing the following should be submitted:

- A. Utility Distribution System(s) (Off-site & On-site)
- B. Streets, Sidewalks & Drive Approaches & Dimensions
- C. Drainage Plan (off-site & On-site)
- D. Topographic Map
- E. Flood Hazzard Map

FILING FEE: (Make check payable to the City of Rockport)

Preliminary Plat - \$100.00 Final Plat - \$100.00 + \$10.00 per acre Minor Plat/Re-plat - \$100.00

- Submit application and filing fee to the Department of Building & Development, Rockport Service Center, 2751 SH 35 Bypass, Rockport, TX 78382.

SIGNED _____
(Owner or Developer)

FOR CITY USE

Received By _____	Date _____	Fees Paid \$ _____
Submitted information () accepted () rejected By: _____		
If rejected, reasons why: _____		
Receipt No. _____		

CONCEPT PLAN PROCEDURE:

Subdivision: The division, re-division or combination of land(s) into one or more lots or tracts, except as may be excluded herein or by state law.

- Any plat for a new subdivision which is not an Administrative Plat or a Minor Re-plat may require the following:
 - a. Concept Plan & Preliminary Plat: This is a working dialogue to address issues of magnitude and complexity. A Site Plan along with a Preliminary Plat are required.
 - b. Final Plat
- City staff shall make determination as to the need of a Concept Plan based on the magnitude and complexity of the plat. Small subdivisions may only require a final plat.
- Concept Plan Review staff will schedule a meeting with applicant in order to render written comments.
 - Public Works, Parks, Public Utilities, Building & Development Services and Police Department may contribute comments.
 - 10 days after completed review, staff will send applicant written comments and recommendations.
 - Applicant then shall prepare necessary changes, prepare final plat, and submit final plat for formal review by Planning and Zoning Commission.
- After 6 months the Concept Plan is considered null and void unless a request for an additional one time 6 month extension is made.
- The Concept Plan can be amended during this time at no additional charge.
- The Concept Plan should accompany the plat when submitted for formal and final review.

CONCEPT PLAN/PRELIMINARY PLAT CHECKLIST:

The Preliminary Plat: Preliminary plats shall be drawn to a convenient scale of not less than 100 feet to an inch and shall show the following information (either on the plat or supporting document) for the area to be platted and all land within 200 feet of the outer boundary of the subdivision:

- (1) Proposed Name: The proposed name of the subdivision shall not duplicate the name of any plat previously recorded within Aransas County.
- (2) Project Ownership: Name and address of legal owner(s), lien holder(s), if any, or agents of same, and:
 - a. Any encumbrances, including but not limited to verification of payment of property taxes and existing covenants on the property, if any; and
 - b. Any other contiguous holdings.
- (3) Adjacent Ownership: Names and current deed recordings for adjacent property owners.
- (4) Professional Firms: Name, address and telephone number of the professional person(s) responsible for subdivision design, for the design of public improvements, surveys and any environmental reports.
- (5) Title Block: Graphic and numerical scale, north arrow and date.
- (6) Description: Legal description of the subdivision outer boundary.
- (7) Vegetation: Location of any trees larger than six inches in diameter at breast height (DBH) which would be located in proposed rights-of-way.
- (8) Topography: The plat map shall show elevations at two-foot intervals unless elevations are relatively level, in which case elevations shall be shown at intervals consistent with good engineering practice. Should heavy ground cover be a problem, major irregularities such as streams, gulches, or marshes shall be shown.
- (9) Utilities-Existing: Location and sizes of existing sewers, water mains, gas pipelines, culverts and other underground structures within the tract and immediately adjacent thereto; including electrical utilities.
- (10) Utilities-Proposed: Proposals for connection with electric, gas and telephone systems, public water and sewage systems, or alternative means of providing sanitary sewage disposal if the city grants a waiver under state law. Appropriate covenants, easements and other restrictions shall be shown.
- (11) Storm-water Management Plan: Preliminary provisions for collecting and discharging surface water drainage. (Refer to the city's master drainage plan.)
- (12) Flood Zone: The location of any flood zones as depicted on the FEMA Flood Hazard Map.
- (13) Lots: Location, dimensions and areas of all proposed lots.
- (14) Building Line: All front and side street building setback lines based upon current zoning applications. (A typical lot plan is acceptable.)

- (15) Recreational and Public Uses: The approximate location, dimensions and area of all parcels of land proposed to be set aside for private or public recreation use (park) or other public use. Land to be dedicated to the city shall be so indicated. (Refer to section 90-58 for parkland dedication procedures.)
- (16) Common Areas: Any proposed open spaces intended as common areas, but not public spaces under public ownership. Maintenance of these areas shall be the responsibility of a homeowners association.
- (17) Phasing: If the plat is to be developed in phases, such phasing shall be shown.
- (18) Vicinity map: General location map showing the proposed platted area relative to the community.
- (19) Land use: Indication of the proposed use of any lot other than a single-family detached lot, e.g. multifamily, commercial, office, etc.
- (20) Block and Lot Numbers: Blocks shall be consecutively numbered or lettered in order. All lots in each block shall be consecutively numbered.

HELPFUL DEFINITIONS:

Sec. 90-21. Classification of plats.

(a) Plats are hereby classified as follows:

(1) *Subdivision plat*: A plat for new subdivision development which is not an administrative plat or a re-plat as defined under paragraphs (2) and (3) below, and will require the following:

(2) *Administrative plat*: A plat in which:

- a. Adjustments to platted lots are needed that meet the criteria for amending plats described by sections 212.0065 and 212.016, Local Government Code (L.G.C.), 2000 edition;
- b. A minor plat involving four or fewer lots fronting on an existing street and not requiring the creation of any new street or the extension of public facilities (section 212.0065, L.G.C., 2000 edition); or
- c. A re-plat under section 212.0145 that does not require the creation of any new street or the extension of municipal facilities.

Administrative plats may be processed administratively "in-house" under procedures as outlined under section 90-33, Administrative procedure, of this chapter, and only a final plat may be required.

(3) *Re-plat*: A plat in which changes to existing plat(s) are needed to reconfigure or create lots, including building setback lines, which may or may not impact public improvements and do not meet the requirements for "Amending Plats" as addressed in section 212.016, L.G.C., 2000 edition. Public hearings required per section 212.014 and section 212.015, L.G.C., 2000 edition. Only a final plat may be required.

PLANNING & ZONING AGENDA
Regular Meeting: Monday, December 14, 2020

AGENDA ITEM: 7

Deliberate and act on a Final Plat submitted by Kontiki Beach Resort Partners, LP for development of a single-family dwelling development subdivision in the ETJ (extraterritorial jurisdiction) to be known as Fulton Beach Landings, Unit 1—located at 2261 N. Fulton Beach Road.

SUBMITTED BY: Building & Development Department

BACKGROUND: Kontiki Beach Resort Partners, LP, as represented by J. Schwarz & Associates, has submitted a Final Plat for a 17-unit single-family residential subdivision phase in the ETJ (extraterritorial jurisdiction) to be known as Fulton Beach Landings, Unit 1, located at 2261 N. Fulton Beach Road.

The concept plan was brought before Planning & Zoning Commission for approval in October. Zoning regulations do not apply outside of the city limits. Lots 37-39 have a lot width of less than 50 feet. However, smaller lot widths were reflected in the approved concept plan and therefore should be approved here. Since it is outside of the city limits but within the city's extraterritorial jurisdiction, it will require review and approval from both the City of Rockport and Aransas County.

Staff has reviewed and approved the proposed final plat. It meets all City subdivision regulations with the exception of the lot widths which are explained in the previous paragraph.

STAFF RECOMMENDATION: Staff recommends approval of the Final Plat.

STAFF PLAT REVIEW COMMENTS

The following plat was reviewed by city staff and are recommended for approval subject to items to be completed prior to the plat being recorded or a certificate of occupancy issued.

- a. **FULTON BEACH LANDINGS, UNIT 1**
(FINAL PLAT – 1.950 ACRES)
Located south/east of Fulton Beach Road and west of State Highway 35 Business.

Applicant: Kontiki Beach Resort Partners, LP
Engineer: J. Schwarz & Associates, Inc.

The applicant proposes to plat the property in order to develop a 17-unit single-family residential subdivision phase.

1. Lots 23-39 are the parcels to be platted in this unit.
 2. Property is located in the extraterritorial jurisdiction (ETJ).
 3. Proposed parcels are outside of the Special Flood Hazard Area. County requires 18-inch freeboard for new development.
 4. Lots 37-39 have a lot width of less than 50 feet. However, smaller lot widths were reflected in the approved concept plan and therefore should be approved here.
 5. Access on the phase will be along Fulton Beach Road.
 6. Developer will provide City of Rockport water and sewer to lots within subdivision.
 7. Drainage will conform to Aransas County specifications.
 8. Street name has been approved by E-911.
 9. **Plat meets City subdivision regulation standards with the exception of the lot widths which are explained in item 4.**
-

Owner Certification

State of Texas
County of _____
KONTIKI BEACH RESORT PARTNERS, LP,
by LETS GO TO THE ISLANDS, INC.
It's General Partner

do hereby certify that we are the owners of the lands embraced within the boundaries of the foregoing plat and that that we have had said land surveyed and platted as shown hereon; that easements as shown (if any) are dedicated to the public use for the installation, operation and use of public utilities; and that this map was made for the purpose of description and dedication.
By signing below, the Property Owner verifies that he/she/they understand that this property may be subject to subdivision deed restrictions, that this replat cannot be used to circumvent any such restriction, and that if such a violation occurs, as a result of this action, the Property Owner agrees to indemnify, hold harmless, and defend Aransas County, its elected and/or agents, from any and all related lawsuits, claims, demands, liabilities, losses and expenses.

This the _____ day of _____, A.D., 202__.

RICHY ETHRIDGE, President of
Lets Go to the Islands, Inc.

State of Texas
County of _____
This instrument was acknowledged before me by:
RICHY ETHRIDGE, President of
Lets Go to the Islands, Inc.

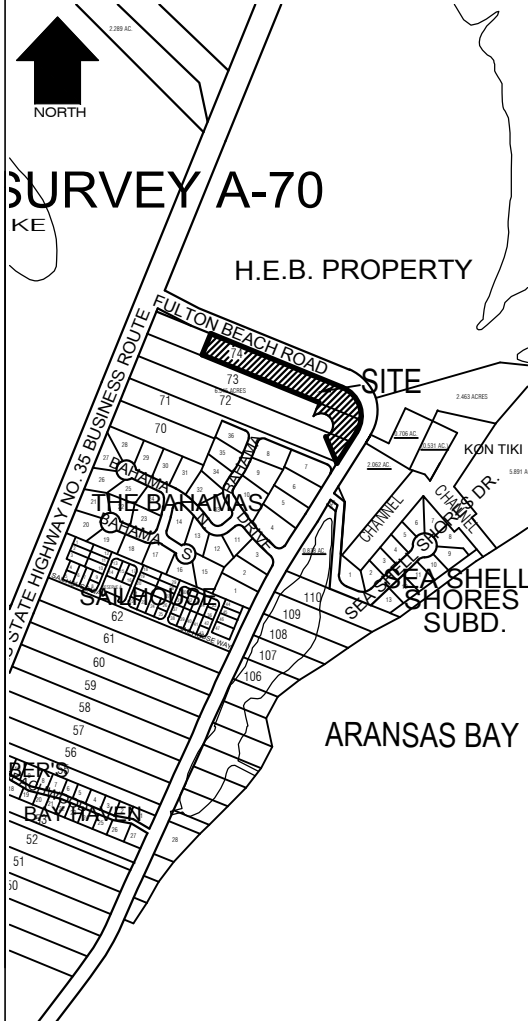
This the _____ day of _____, A.D., 202__.

Notary Public in and for the State of Texas

Flood Data

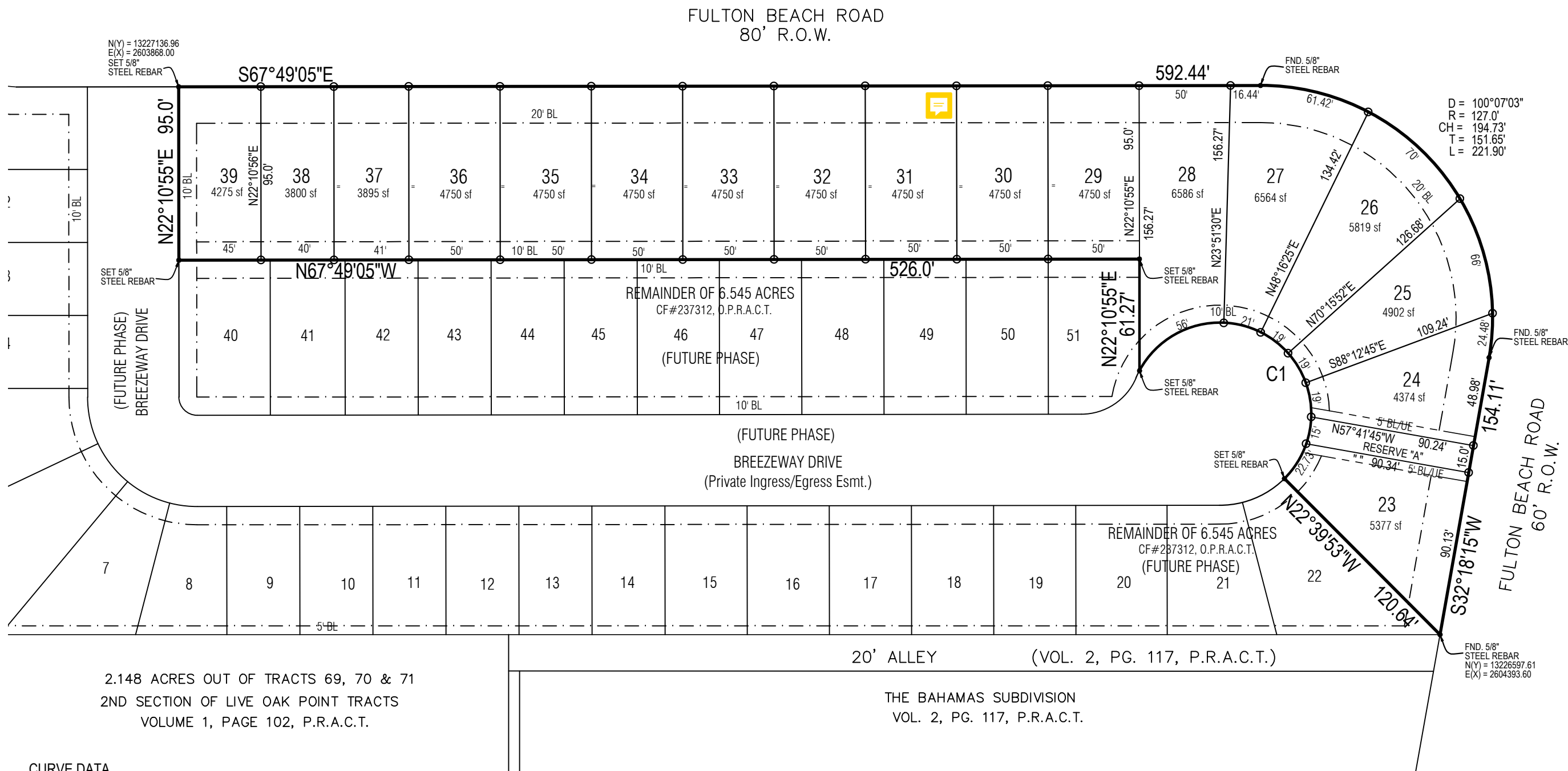
This is to certify that I have consulted the Federal Flood Hazard Map dated **2-17-16**, and found that the property described herein is _____ (or) is not **X** located in a "Special Flood Hazard Area."
Flood Zone **"X"**, Base Elevation **N/A**,
Panel No. **0235G**,
Community No. **485452**.
This information is based on scaling the location of this survey on the above referenced map and is intended to be used to determine insurance rates only and not identify specific flooding conditions.
SUBJECT TO CHANGE BY FEMA

Locator Map



Firm Name and Address
Griffith & Brundrett
Surveying & Engineering, Inc.
411 S. Pearl St., P.O. Box 2322
Rockport, Texas 78381
361-729-6479
361-729-7933
jerryb@griffithsurveyor.com
www.griffithsurveyor.com

FILE NAME: ARANSAS COUNTY/FULTON BEACH LANDINGS, UNIT 1



CURVE DATA
C1
D = 196°47'17"
R = 50.0'
CH = ---
T = ---
L = 171.73'

NOTICE:
1.) THERE MAY NOT BE ACCESS TO PUBLIC WATER OR WASTEWATER SERVICES.
2.) EACH PLATTED LOT IS LIMITED TO ONE (1) RESIDENTIAL UNIT.
3.) ANY INSTALLATION OF AN ON-SITE SEWER FACILITY (OSSP) AND/OR WATER WELL MUST BE PERMITTED THROUGH THE ARANSAS COUNTY ENVIRONMENTAL HEALTH DEPARTMENT AND INSTALLED ACCORDING TO TCEQ REQUIREMENTS.
4.) BUILDING SETBACKS SHALL BE AS PRESCRIBED IN CURRENT SUBDIVISION REGULATIONS AT THE TIME OF CONSTRUCTION.

METES & BOUNDS DESCRIPTION
BEING THE DESCRIPTION OF 1.950 ACRES OF LAND OUT OF A 6.545 ACRE TRACT OUT OF TRACTS 72, 73, 74 AND FRACTIONAL TRACT 75, SECOND SECTION OF THE LIVE OAK POINT TRACTS, C.O.D. GILLILAND SURVEY, A-70, ARANSAS COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN VOLUME 1, PAGE 102, PLAT RECORDS OF ARANSAS COUNTY, TEXAS, AND SAID 6.545 ACRE TRACT BEING DESCRIBED IN A DEED OF RECORD UNDER CLERKS FILE NUMBER 237312, OFFICIAL PUBLIC RECORDS OF ARANSAS COUNTY, TEXAS, WITH SAID 1.950 ACRES OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:
COMMENCE, at a 5/8" steel rebar found at the point of intersection of the East R.O.W. line of Texas State Highway 35 Business and the South R.O.W. line of Fulton Beach Road, and being the Northwest corner of said 6.545 acre tract; THENCE, South 62°39'11" East, along and with the South R.O.W. line of Fulton Beach Road, a distance of 156.73 feet to a 5/8" steel rebar found for an angle point; THENCE, South 67°49'05" East, continuing along and with the South R.O.W. line of Fulton Beach Road, a distance of 88.89 feet to a 5/8" steel rebar set for the NORTHWEST corner and PLACE OF BEGINNING of this survey;
THENCE, South 67°49'05" East, continuing along and with the South R.O.W. line of Fulton Beach Road, a distance of 592.44 feet to a 5/8" steel rebar found at the point of curvature of a circular curve to the right with a central angle of 100°07'03", a radius of 127.0 feet, a chord of 194.73 feet, a tangent of 151.65 feet, for an arc distance of 221.90 feet to a 5/8" steel rebar found at the point of tangency, and being in the West R.O.W. line of Fulton Beach Road, and being an EXTERIOR corner of this survey;
THENCE, South 32°18'15" West, along and with the West R.O.W. line of Fulton Beach Road, a distance of 154.11 feet to a 5/8" steel rebar found for the Southeast corner of said 6.545 acre tract and being the Northeast corner of The Bahamas Subdivision, according to the plat recorded in Volume 2, Page 117, Plat Records of Aransas County, Texas, and being the SOUTHEAST corner of this survey;
THENCE, North 22°39'53" West, a distance of 120.64 feet to a 5/8" steel rebar set in a circular curve to the left with a central angle of 196°47'17", a radius of 50.0 feet, and an arc length of 171.73 feet to a 5/8" steel rebar set for an EXTERIOR corner of this survey;
THENCE, North 22°10'55" East, a distance of 61.27 feet to a 5/8" steel rebar set for an INTERIOR corner of this survey;
THENCE, North 67°49'05" West, a distance of 526.0 feet to a 5/8" steel rebar set for an EXTERIOR corner of this survey;
THENCE, North 22°10'55" East, a distance of 95.0 feet to the PLACE OF BEGINNING of this survey and containing 1.950 acres of land, more or less.

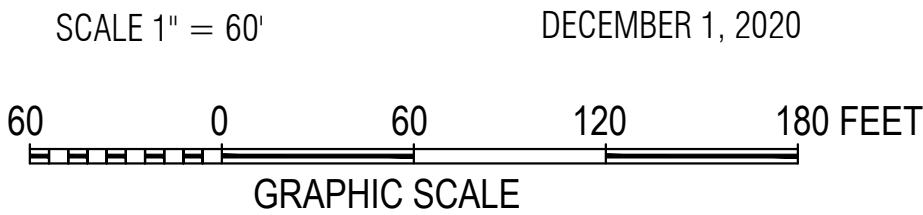
FULTON BEACH ROAD
80' R.O.W.

Final Plat of:

FULTON BEACH LANDINGS, UNIT 1

C.O.D. GILLILAND SURVEY, A-70,
ARANSAS COUNTY, TEXAS,

BEING A REPLAT OF 1.950 ACRES OF LAND OUT OF A 6.545 ACRE TRACT OUT OF TRACTS 72, 73, 74 AND FRACTIONAL TRACT 75, SECOND SECTION OF LIVE OAK POINT TRACTS, C.O.D. GILLILAND SURVEY, A-70, ARANSAS COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN VOLUME 1, PAGE 102, PLAT RECORDS OF ARANSAS COUNTY, TEXAS, AND SAID 6.545 ACRE TRACT BEING DESCRIBED IN A DEED OF RECORD UNDER CLERKS FILE NUMBER 237312, OFFICIAL PUBLIC RECORDS OF ARANSAS COUNTY, TEXAS.



Surveyor Certification

State of Texas
County of Aransas
I, J.L. Brundrett, Jr., a Registered Professional Land Surveyor in the State of Texas, do hereby certify that the foregoing plat was prepared from surveys made on the ground under my direction and supervision and is true and correct, and that I have been engaged to set all lot and block corners and reference points and complete such operations without delay.
This the _____ day of _____, A.D., 2020.

J.L. BRUNDRETT, Jr.
R.P.L.S.
Reg. No. 2133
TBPELS Firm No. 10004800
PRELIMINARY - NOT RECORDABLE FOR ANY PURPOSE

Commissioner's Court

State of Texas
County of Aransas
This plat of the herein described property is approved by the Commissioner's Court of Aransas County, Texas.
This the _____ day of _____, A.D., 202__.
By: **C. H. (Burt) Mills, Jr., County Judge**

Environmental Health

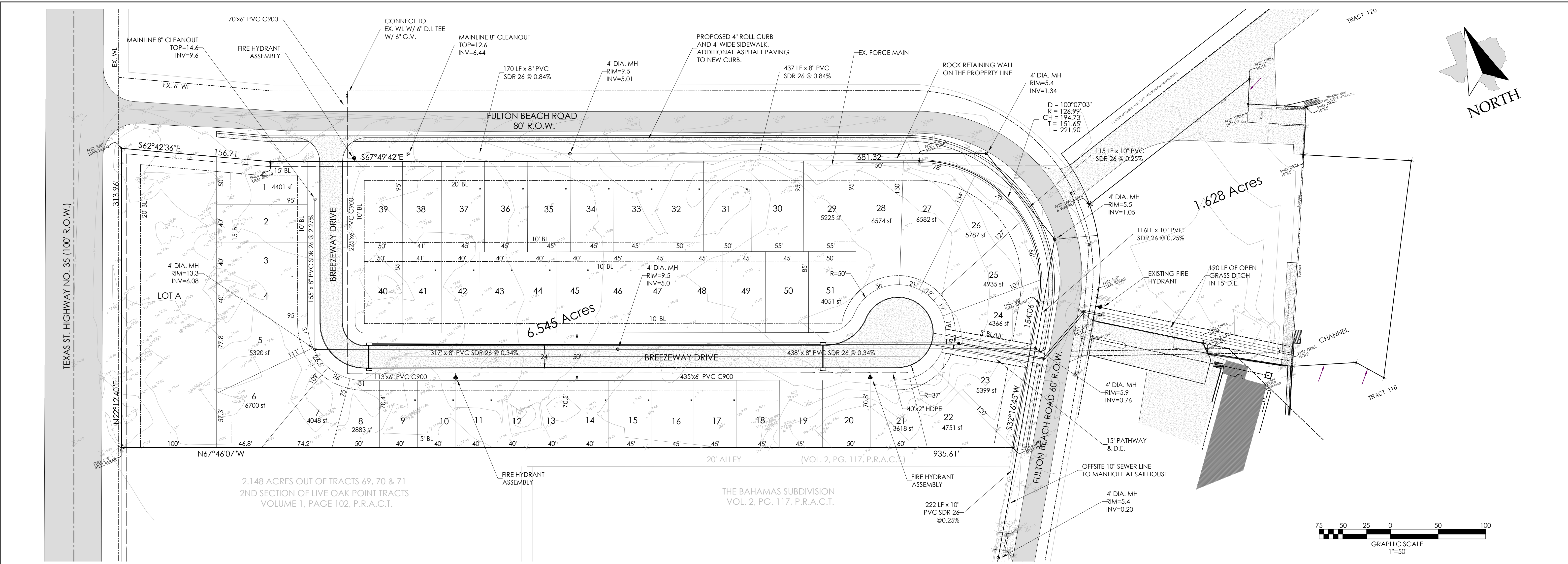
State of Texas
County of Aransas
This plat of the herein described property is approved by the Director of Environmental Health of Aransas County, Texas.
This the _____ day of _____, A.D., 202__.
Director of Environmental Health

Notes

- 5/8" Steel Rebars found or set at all property corners unless otherwise shown.
○ = 5/8" Steel Rebar Set, capped "Griffith & Brundrett."
- Coordinates and bearings shown are on NAD 83, Texas State Plane South Central Zone.
- Total platted area contains **1.950** acres or **84,940** square feet of land.
- Reserve "A" is a 15.0' wide (1,348 Sq.Ft.) Access Easement.
- Building lines as shown. 5' Side Yard / Bldg. Line

County Clerk's Certification

State of Texas
County of Aransas
I, Carrie Arrington, Clerk of the County Court in and for Aransas County, Texas, do hereby certify that the foregoing instrument of writing dated the _____ day of _____, A.D. 202__, with its certificate of authentication was filed for record in my office the _____ day of _____, A.D. 202__, at _____ o'clock _____ m. and duly recorded the _____ day of _____, A.D. 202__, at _____ o'clock _____, in the Plat Records of Aransas County, Texas in Volume _____, Page _____.
Witness my hand and seal of the County Court, in and for Aransas County, Texas, at office in Rockport, Texas, the day and year last written above.
Carrie Arrington
By: _____ Deputy
Clerk's File No. _____



FLOOD DATA:
This is to certify that I have consulted the Federal Flood Hazard Map dated 2-17-16 , and found that the property described herein is ____ (or) is not X located in a "Special Flood Hazard Area." Flood Zone "X". Base Elevation N/A . Panel No. 48007/C0235G, Community No. 485452 .

PROPERTY ADDRESS
2261 N. FULTON BEACH ROAD, ROCKPORT, TX

ZONING
PROPERTY IS IN ARANSAS COUNTY, SO THERE IS NO ZONING DESIGNATION.

- NOTES:
1. DEVELOPER IS PROPOSING 51 SINGLE-FAMILY RESIDENTIAL LOTS AND 1 RESERVE LOT.
 2. LOTS 23-39 WILL GET WATER SERVICE FROM EXISTING WATERLINE IN FULTON BEACH ROAD.
 3. NEW STREET WILL BE PRIVATE.
 4. DEVELOPER ALSO OWNS THE 1.6-ACRE TRACT TO THE EAST AND WILL GRANT A DRAINAGE EASEMENT FOR STORMWATER OUTFALL

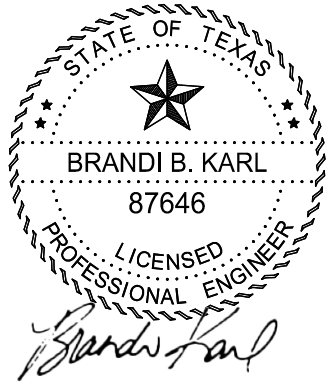


LOCATION MAP
N.T.S.

OWNER:
KONTIKI BEACH RESORT PARTNERS, LP
P.O. BOX 140033
DALLAS, TX 75214-0033
ATTN: RICHY ETHRIDGE
(214) 415-7487

ENGINEER:
J. SCHWARZ & ASSOC., INC.
BRANDI B. KARL, P.E.
P.O. BOX 60733
CORPUS CHRISTI, TX 78466
(361) 774-4534

SURVEYOR:
GRIFFITH & BRUNDETT
SURVEYING & ENGINEERING
411 S. PEARL ST
ROCKPORT, TX 78382
(361) 729-6479



Digitally signed by
Brandi B. Karl, P.E.
Date: September 28, 2020

REVISION	DATE

CONCEPTUAL PLAN IS FOR PRELIMINARY REVIEW AND APPROVAL ONLY.
PLAN IS NOT AUTHORIZED TO BE RECORDED IN THE PLAT RECORDS OF ARANSAS COUNTY.

CONCEPTUAL PLAN

FULTON BEACH LANDINGS, PUD

LEGAL DESCRIPTION
6.545 ACRES EMBRACING LOTS 72-74 & FRACTIONAL LOT 75, SECOND SECTION, LIVE OAK POINT TRACTS, ARANSAS COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN VOLUME 1, PAGE 102, PLAT RECORDS OF ARANSAS COUNTY, TEXAS.

JSA J. SCHWARZ & ASSOCIATES, INC.
Professional Engineering Solutions

CONCEPT PLAN

FULTON BEACH LANDINGS, P.U.D.
RICHY ETHRIDGE

DATE	FILE NAME	REVISION NUMBER	SHEET NUMBER
9/28/20	FBL Civil File.dwg	X	001
JOB NUMBER	ENGINEER	SCALE	
X	F-8138	1"=50'	



Plat Application & Checklist

Building & Development Services Department

This application requests the information and documentation required to review and approve a subdivision or plat as per Chapter 90: Subdivisions and Platting of the City of Rockport Code of Ordinances (available at www.cityofrockport.com/200/Ordinances-Resolutions).

CATEGORIZATION:

CLASSIFICATION OF PLAT: ☐ Administrative ☐ Minor Subdivision ☒ Major Subdivision

A Major Subdivision requires a Concept Plan and review of a Preliminary Plat prior to the application and review of a Final Plat. A Minor Subdivision or a Re-plat may require a Concept Plan depending on the magnitude or complexity of the subdivision.

TYPE OF PLAT TO BE REVIEWED: ☒ Concept Plan & Preliminary Plat ☐ Final Plat ☐ Re-plat

GENERAL INFORMATION:

Address: 2261 N. FULTON BEACH ROAD ACAD Property ID: 26643

Subdivision: _____ Block: _____ Lot: _____

Other Legal Description: 6.545 ACRES EMBRACING LOTS 72-74 & FRACTIONAL LOT 75, SECOND SECTION, LIVE OAK POINT TRACTS, ACCORDING TO PLAT IN VOL 1, PG 102, PRACT

PROPERTY OWNER OF RECORD:

Name: RICHY ETHRIDGE

Company: KONTIKI BEACH RESORT PARTNERS, LP

Mailing Address: P.O. BOX 140033
DALLAS, TX 75214-0033

Phone: 214-415-7487

Email: richy@ethridgecre.com

ENGINEER/PLANNER/SURVEYOR:

Name: BRANDI B. KARL, P.E.

Company: J. SCHWARZ & ASSOCIATES, INC

Mailing Address: P.O. BOX 60733
CORPUS CHRISTI, TX 78466

Phone: 361-774-4534

Email: brandi@jsatx.com

BACKGROUND

Project Name: FULTON BEACH LANDINGS, PUD

- Present Zoning District: N/A Are you requesting a zoning change? YES ☒ NO ☐
- If yes, which Zoning District is requested? _____ YES ☒ NO ☐
- Do all proposed lots have access to existing public streets? YES ☒ NO ☐
- Do any of the proposed lots require the extension of public facilities such as: right of ways, easements, water, sewer, etc.? YES ☒ NO ☐
- Is the existing lot in compliance with the Storm Drainage Master Plan? N/A YES ☒ NO ☐

EXISTING PROPERTY CONTAINS: (Be specific on all that are applicable)

Land Use:	Number of Lots or Units	Acres of Use/Contents of Each Lot	Square Footage of Building Space
Undeveloped	1	6.545 AC	
Single Family			
Garden/Patio/ Zero-lot line			
Duplex			
Townhomes			
Multi-family			
Manufactured Housing			
Hotel/Motel			
Condo Regime			
Office			
Restaurant			
Commercial/Retail			
Warehouse/Showroom			
Industrial			
RV Park/ Pads			
Public Facilities: (Schools, Churches, etc.)			
Park/ Open Spaces			
Trees over 6" in diameter			
Wetlands / Other Environmentally Sensitive Natural Infrastructure			
Special Flood Hazard Zone			
Other:			
Public/ Private Street R.O.W			
TOTAL	1	6.545 ACRES	

Please describe below any other information unique or pertinent to the platting of the property.

THE PROPERTY IS LOCATED NEAR THE EDGE OF THE 1-MILE ETJ, IN ARANSAS COUNTY. THE ASSUMPTION IS THAT BOTH THE CITY AND THE COUNTY WILL APPROVE THE PLAT, THE CITY WILL HAVE JURISDICTION OVER THE UTILITIES AND THE COUNTY WILL HAVE JURISDICTION OVER THE DRAINAGE.

PROPOSED SUBDIVISION/PLATS CONTAIN: (Be specific on all that are applicable)

Land Use:	Number of Lots or Units	Acres of Use/Contents of Each Lot	Square Footage of Building Space
Undeveloped			
Single Family	51	4.765 Ac	
Garden/Patio/ Zero-lot line			
Duplex			
Townhomes			
Multi-family			
Manufactured Housing			
Hotel/Motel			
Condo Regime			
Office			
Restaurant			
Commercial/Retail			
Warehouse/Showroom			
Industrial			
RV Park/ Pads (only through approved CUP)			
Public Facilities: (Schools, Churches, etc.)			
Park/ Open Spaces	1	0.71 Ac	
Preserve for Wetlands / Environmentally Sensitive Natural Infrastructure			
Special Flood Hazard Zone			
Other:			
Public/ Private Street R.O.W	1	1.07 Ac	
TOTAL	3	6.545 Ac	

REQUIRED PLAT COPIES & RECORDING PROCEDURES

- 1. Preliminary Plat: Two (2) copies of the preliminary plat drawn to a scale of not less than 1" = 100' plus ten (10) reduced copies (no smaller than 11"x17"). An electronic copy is requested but not required. Request a Concept Plan Checklist. This additional information and documentation should be submitted along with the Application & Preliminary Plat. A site plan or survey should be submitted showing any encroachments and improvements, existing and/or planned.
- 2. Final Plat/Re-plat: One (1) original "Vellum", plus three (3) full size copies, and one (1) 11"x17" reduced copy. May require a prior Concept Plan. An electronic copy is requested but not required.
- 3. Administrative Plats/ Minor Re-Plats: Only a final plat required. Submit in accordance with 2 above. An electronic copy is requested but not required.
- After official approval, the applicant's surveyor is responsible for coordinating the recording of all Final Plats and Re-plats at the Aransas County Court House and must then submit one (1) signed full scale Mylar and one (1) print for the City files.

FINAL PLAT/RE-PLAT CHECKLIST:

Pursuant to the City of Rockport Platting & Subdivision Ordinance the following items are required to be shown on the plat or submitted with the plat for consideration. Please use the boxes at the left to verify the completeness of the information submitted.

INDICATE IF ON PLAT:				CITY REVIEW:	
YES	NO	N/A	1. BASIC INFORMATION	YES	NO
☒			A. Subdivision/ Project Name		
☒			B. Name & Address of Owner		
☒			C. Title: "Final Plat" / "Re-plat" / "Preliminary Plat"		
☒			D. Name & Address of Responsible Surveyor, Engineer, Planner Responsible for Design		
☒			E. Date		
☒			F. Scale		
☒			G. North Arrow		
☒			H. Small Scale Location Map		
☒			I. Names of Adjacent Subdivisions		

INDICATE IF ON PLAT:				CITY REVIEW:	
YES	NO	N/A	2. SURVEYING	YES	NO
☒			A. Boundary Survey of Plat (Bearing & Distances)		
☒			B. Reference to Original Survey or Previous Subdivision		
☒			C. Monuments Shown on Plat		
☒			D. Monuments Set in Field		
☒			E. Legal Description of Subdivision Outer Boundary		

INDICATE IF ON PLAT:				CITY REVIEW:	
YES	NO	N/A	3. INTERIOR DETAILS	YES	NO
☒			A. Dimension & Location of All Lots, Streets, Easements, Parks, etc.		
☒			B. Name of Streets (New & Old)		
☒			C. Lot & Block Numbers		
☒			D. Location, Names, Widths of approved Streets, Alleys & Easements, All Right of Ways		
☒			E. Detail Curve Information		
☒			F. Building Lines, Exterior & Interior		
☒			G. Existing Natural Features, Watercourses & Other Physical Features		
		☒	H. Zoning District Designation		
		☒	I. Tree Plan (Showing Significant Trees in Proposed R-O-W)		
☒			J. Flood Hazard Areas		

INDICATE IF ON PLAT:

CITY REVIEW:

YES	NO	N/A	4. CERTIFICATION	YES	NO
		✓	A. Licensed Surveyor's Signature Plate		
		✓	B. Planning & Zoning Commission Signature late		
		✓	C. Owner's Signature(s) Plate		
		✓	D. Lien Holder(s) or Others' Signature Plate		
		✓	E. City Engineer Signature Plate		
		✓	F. Aransas County Clerk Signature Plate		

INDICATE IF ON PLAT:

CITY REVIEW:

YES	NO	N/A	5. TAXES	YES	NO
		✓	A. Certificate of All Past & Current Taxes Paid on Property Being Platted		

INDICATE IF ON PLAT:

CITY REVIEW:

YES	NO	N/A	6. LEGAL STIPULATIONS	YES	NO
		✓	A. Copy of All Deed Restrictions Pertaining to the Subject Property		
		✓	B. Copy of Condominium Regime		
		✓	C. Copy of Warranty Deed		

NOTE: 2 Sets of Construction Plans showing the following should be submitted:

- A. Utility Distribution System(s) (Off-site & On-site)
- B. Streets, Sidewalks & Drive Approaches & Dimensions
- C. Drainage Plan (off-site & On-site)
- D. Topographic Map
- E. Flood Hazzard Map

FILING FEE: (Make check payable to the City of Rockport)

Preliminary Plat - \$100.00 Final Plat - \$100.00 + \$10.00 per acre Minor Plat/Re-plat - \$100.00

- Submit application and filing fee to the Department of Building & Development, Rockport Service Center, 2751 SH 35 Bypass, Rockport, TX 78382.

SIGNED

Richard L. Lohr
(Owner or Developer)

FOR CITY USE

Received By _____ Date _____ Fees Paid \$ _____

Submitted information () accepted () rejected By: _____

If rejected, reasons why: _____

Receipt No. _____

CONCEPT PLAN PROCEDURE:

Subdivision: The division, re-division or combination of land(s) into one or more lots or tracts, except as may be excluded herein or by state law.

- o Any plat for a new subdivision which is not an Administrative Plat or a Minor Re-plat may require the following:
 - a. Concept Plan & Preliminary Plat: This is a working dialogue to address issues of magnitude and complexity. A Site Plan along with a Preliminary Plat are required.
 - b. Final Plat
- o City staff shall make determination as to the need of a Concept Plan based on the magnitude and complexity of the plat. Small subdivisions may only require a final plat.
- o Concept Plan Review staff will schedule a meeting with applicant in order to render written comments.
 - Public Works, Parks, Public Utilities, Building & Development Services and Police Department may contribute comments.
 - 10 days after completed review, staff will send applicant written comments and recommendations.
 - Applicant then shall prepare necessary changes, prepare final plat, and submit final plat for formal review by Planning and Zoning Commission.
- o After 6 months the Concept Plan is considered null and void unless a request for an additional one time 6 month extension is made.
- o The Concept Plan can be amended during this time at no additional charge.
- o The Concept Plan should accompany the plat when submitted for formal and final review.

CONCEPT PLAN/PRELIMINARY PLAT CHECKLIST:

The Preliminary Plat: Preliminary plats shall be drawn to a convenient scale of not less than 100 feet to an inch and shall show the following information (either on the plat or supporting document) for the area to be platted and all land within 200 feet of the outer boundary of the subdivision:

- (1) Proposed Name: The proposed name of the subdivision shall not duplicate the name of any plat previously recorded within Aransas County.
- (2) Project Ownership: Name and address of legal owner(s), lien holder(s), if any, or agents of same, and:
 - a. Any encumbrances, including but not limited to verification of payment of property taxes and existing covenants on the property, if any; and
 - b. Any other contiguous holdings.
- (3) Adjacent Ownership: Names and current deed recordings for adjacent property owners.
- (4) Professional Firms: Name, address and telephone number of the professional person(s) responsible for subdivision design, for the design of public improvements, surveys and any environmental reports.
- (5) Title Block: Graphic and numerical scale, north arrow and date.
- (6) Description: Legal description of the subdivision outer boundary.
- (7) Vegetation: Location of any trees larger than six inches in diameter at breast height (DBH) which would be located in proposed rights-of-way.
- (8) Topography: The plat map shall show elevations at two-foot intervals unless elevations are relatively level, in which case elevations shall be shown at intervals consistent with good engineering practice. Should heavy ground cover be a problem, major irregularities such as streams, gullies, or marshes shall be shown.
- (9) Utilities-Existing: Location and sizes of existing sewers, water mains, gas pipelines, culverts and other underground structures within the tract and immediately adjacent thereto; including electrical utilities.
- (10) Utilities-Proposed: Proposals for connection with electric, gas and telephone systems, public water and sewage systems, or alternative means of providing sanitary sewage disposal if the city grants a waiver under state law. Appropriate covenants, easements and other restrictions shall be shown.
- (11) Storm-water Management Plan: Preliminary provisions for collecting and discharging surface water drainage. (Refer to the city's master drainage plan.)
- (12) Flood Zone: The location of any flood zones as depicted on the FEMA Flood Hazard Map.
- (13) Lots: Location, dimensions and areas of all proposed lots.
- (14) Building Line: All front and side street building setback lines based upon current zoning applications. (A typical lot plan is acceptable.)

- (15) Recreational and Public Uses: The approximate location, dimensions and area of all parcels of land proposed to be set aside for private or public recreation use (park) or other public use. Land to be dedicated to the city shall be so indicated. (Refer to section 90-58 for parkland dedication procedures.)
- (16) Common Areas: Any proposed open spaces intended as common areas, but not public spaces under public ownership. Maintenance of these areas shall be the responsibility of a homeowners association.
- (17) Phasing: If the plat is to be developed in phases, such phasing shall be shown.
- (18) Vicinity map: General location map showing the proposed platted area relative to the community.
- (19) Land use: Indication of the proposed use of any lot other than a single-family detached lot, e.g. multifamily, commercial, office, etc.
- (20) Block and Lot Numbers: Blocks shall be consecutively numbered or lettered in order. All lots in each block shall be consecutively numbered.

HELPFUL DEFINITIONS:

Sec. 90-21. Classification of plats.

(a) Plats are hereby classified as follows:

- (1) *Subdivision plat*: A plat for new subdivision development which is not an administrative plat or a re-plat as defined under paragraphs (2) and (3) below, and will require the following:
- (2) *Administrative plat*: A plat in which:
 - a. Adjustments to platted lots are needed that meet the criteria for amending plats described by sections 212.0065 and 212.016, Local Government Code (L.G.C.), 2000 edition;
 - b. A minor plat involving four or fewer lots fronting on an existing street and not requiring the creation of any new street or the extension of public facilities (section 212.0065, L.G.C., 2000 edition); or
 - c. A re-plat under section 212.0145 that does not require the creation of any new street or the extension of municipal facilities.

Administrative plats may be processed administratively "in-house" under procedures as outlined under section 90-33, Administrative procedure, of this chapter, and only a final plat may be required.

- (3) *Re-plat*: A plat in which changes to existing plat(s) are needed to reconfigure or create lots, including building setback lines, which may or may not impact public improvements and do not meet the requirements for "Amending Plats" as addressed in section 212.016, L.G.C., 2000 edition. Public hearings required per section 212.014 and section 212.015, L.G.C., 2000 edition. Only a final plat may be required.



Plat Application & Checklist

Building & Development Services Department

This application requests the information and documentation required to review and approve a subdivision or plat as per Chapter 90: Subdivisions and Platting of the City of Rockport Code of Ordinances (available at www.cityofrockport.com/200/Ordinances-Resolutions).

CATEGORIZATION:

CLASSIFICATION OF PLAT: ☐ Administrative ☐ Minor Subdivision ☒ Major Subdivision

A Major Subdivision requires a Concept Plan and review of a Preliminary Plat prior to the application and review of a Final Plat. A Minor Subdivision or a Re-plat may require a Concept Plan depending on the magnitude or complexity of the subdivision.

TYPE OF PLAT TO BE REVIEWED: ☐ Concept Plan & Preliminary Plat ☒ Final Plat ☐ Re-plat

GENERAL INFORMATION:

Address: 2261 N. Fulton Beach Road ACAD Property ID: 26643

Subdivision: Proposed Fulton Beach Landings, Unit 1 Block: _____ Lot: _____

Other Legal Description: A replat of 1.950 acres of land out of a 6.545 acre tract out of Tracts 72, 73, 74, and fractional Tract 75, second section of Live Oak Point Tracts, C.O.D. Gilliland Survey A-70, Aransas County, Texas, according to the plat recorded in Vol. 1, Pg 102, Plat Records of Aransas County, Texas.

PROPERTY OWNER OF RECORD:

Name: Richy Ethridge

Company: Kontiki Beach Resort Partners, LP

Mailing Address: P.O. Box 140033
Dallas, TX 75214-0033

Phone: 214-415-7487

Email: richy@ethridgecre.com

ENGINEER/PLANNER/SURVEYOR:

Name: Brandi B. Karl, P.E.

Company: J. Schwarz & Associates, Inc.

Mailing Address: P.O. Box 60733
Corpus Christi, TX 78466

Phone: 361-774-4534

Email: brandi@jsatx.com

BACKGROUND

Project Name: Fulton Beach Landings, Unit 1

- Present Zoning District: N/A Are you requesting a zoning change? YES ☒ NO ☐
- If yes, which Zoning District is requested? _____ YES ☒ NO ☐
- Do all proposed lots have access to existing public streets? YES ☒ NO ☐
- Do any of the proposed lots require the extension of public facilities such as: right of ways, easements, water, sewer, etc.? YES ☒ NO ☐
- Is the existing lot in compliance with the Storm Drainage Master Plan? N/A YES ☒ NO ☐

EXISTING PROPERTY CONTAINS: (Be specific on all that are applicable)

Land Use:	Number of Lots or Units	Acres of Use/Contents of Each Lot	Square Footage of Building Space
Undeveloped	1	1.950 Ac	
Single Family			
Garden/Patio/ Zero-lot line			
Duplex			
Townhomes			
Multi-family			
Manufactured Housing			
Hotel/Motel			
Condo Regime			
Office			
Restaurant			
Commercial/Retail			
Warehouse/Showroom			
Industrial			
RV Park/ Pads			
Public Facilities: (Schools, Churches, etc.)			
Park/ Open Spaces			
Trees over 6" in diameter			
Wetlands / Other Environmentally Sensitive Natural Infrastructure			
Special Flood Hazard Zone			
Other:			
Public/ Private Street R.O.W			
TOTAL	1	1.950 Ac	

Please describe below any other information unique or pertinent to the platting of the property.

The property is located near the edge of the one-mile ETJ line, in Aransas County. The assumption is that both the City and the County will approve the plat, the City will have jurisdiction over the utilities and the County will have jurisdiction over the drainage.

PROPOSED SUBDIVISION/PLATS CONTAIN: (Be specific on all that are applicable)

Land Use:	Number of Lots or Units	Acres of Use/Contents of Each Lot	Square Footage of Building Space
Undeveloped			
Single Family	17	1.950 Ac	
Garden/Patio/ Zero-lot line			
Duplex			
Townhomes			
Multi-family			
Manufactured Housing			
Hotel/Motel			
Condo Regime			
Office			
Restaurant			
Commercial/Retail			
Warehouse/Showroom			
Industrial			
RV Park/ Pads (only through approved CUP)			
Public Facilities: (Schools, Churches, etc.)			
Park/ Open Spaces			
Preserve for Wetlands / Environmentally Sensitive Natural Infrastructure			
Special Flood Hazard Zone			
Other:			
Public/ Private Street R.O.W			
TOTAL	17	1.950 Ac	

REQUIRED PLAT COPIES & RECORDING PROCEDURES

- 1. Preliminary Plat: Two (2) copies of the preliminary plat drawn to a scale of not less than 1" = 100' plus ten (10) reduced copies (no smaller than 11"x17"). An electronic copy is requested but not required. Request a Concept Plan Checklist. This additional information and documentation should be submitted along with the Application & Preliminary Plat. A site plan or survey should be submitted showing any encroachments and improvements, existing and/or planned.
- 2. Final Plat/Re-plat: One (1) original "Vellum", plus three (3) full size copies, and one (1) 11"x17' reduced copy. May require a prior Concept Plan. An electronic copy is requested but not required.
- 3. Administrative Plats/ Minor Re-Plats: Only a final plat required. Submit in accordance with 2 above. An electronic copy is requested but not required.
- After official approval, the applicant's surveyor is responsible for coordinating the recording of all Final Plats and Re-plats at the Aransas County Court House and must then submit one (1) signed full scale Mylar and one (1) print for the City files.

FINAL PLAT/RE-PLAT CHECKLIST:

Pursuant to the City of Rockport Platting & Subdivision Ordinance the following items are required to be shown on the plat or submitted with the plat for consideration. Please use the boxes at the left to verify the completeness of the information submitted.

INDICATE IF ON PLAT:				CITY REVIEW:	
YES	NO	N/A	1. BASIC INFORMATION	YES	NO
X			A. Subdivision/ Project Name		
X			B. Name & Address of Owner		
X			C. Title: "Final Plat" / "Re-plat" / "Preliminary Plat"		
X			D. Name & Address of Responsible Surveyor, Engineer, Planner Responsible for Design		
X			E. Date		
X			F. Scale		
X			G. North Arrow		
X			H. Small Scale Location Map		
X			I. Names of Adjacent Subdivisions		

INDICATE IF ON PLAT:				CITY REVIEW:	
YES	NO	N/A	2. SURVEYING	YES	NO
X			A. Boundary Survey of Plat (Bearing & Distances)		
X			B. Reference to Original Survey or Previous Subdivision		
X			C. Monuments Shown on Plat		
		X	D. Monuments Set in Field		
X			E. Legal Description of Subdivision Outer Boundary		

INDICATE IF ON PLAT:				CITY REVIEW:	
YES	NO	N/A	3. INTERIOR DETAILS	YES	NO
X			A. Dimension & Location of All Lots, Streets, Easements, Parks, etc.		
X			B. Name of Streets (New & Old)		
X			C. Lot & Block Numbers		
X			D. Location, Names, Widths of approved Streets, Alleys & Easements, All Right of Ways		
X			E. Detail Curve Information		
X			F. Building Lines, Exterior & Interior		
X			G. Existing Natural Features, Watercourses & Other Physical Features		
		X	H. Zoning District Designation		
		X	I. Tree Plan (Showing Significant Trees in Proposed R-O-W)		
X			J. Flood Hazard Areas		

INDICATE IF ON PLAT

CITY REVIEW

YES	NO	N/A	4. CERTIFICATION	YES	NO
X			A. Licensed Surveyor's Signature Plate		
X			B. Planning & Zoning Commission Signature late		
X			C. Owner's Signature(s) Plate		
X			D. Lien Holder(s) or Others' Signature Plate		
		X	E. City Engineer Signature Plate		
X			F. Aransas County Clerk Signature Plate		

INDICATE IF ON PLAT

CITY REVIEW

YES	NO	N/A	5. TAXES	YES	NO
		X	A. Certificate of All Past & Current Taxes Paid on Property Being Platted		

INDICATE IF ON PLAT

CITY REVIEW

YES	NO	N/A	6. LEGAL STIPULATIONS	YES	NO
		X	A. Copy of All Deed Restrictions Pertaining to the Subject Property		
		X	B. Copy of Condominium Regime		
		X	C. Copy of Warranty Deed		

NOTE: 2 Sets of Construction Plans showing the following should be submitted:

- A. Utility Distribution System(s) (Off-site & On-site)
- B. Streets, Sidewalks & Drive Approaches & Dimensions
- C. Drainage Plan (off-site & On-site)
- D. Topographic Map
- E. Flood Hazzard Map

FILING FEE: (Make check payable to the City of Rockport)**Preliminary Plat - \$100.00 Final Plat - \$100.00 + \$10.00 per acre Minor Plat/Re-plat - \$100.00**

- Submit application and filing fee to the Department of Building & Development, Rockport Service Center, 2751 SH 35 Bypass, Rockport, TX 78382.

SIGNED

(Owner or Developer)

FOR CITY USE

Received By _____	Date _____	Fees Paid \$ _____
Submitted information () accepted () rejected By: _____		
If rejected, reasons why: _____		

Receipt No. _____		

CONCEPT PLAN PROCEDURE:

Subdivision: The division, re-division or combination of land(s) into one or more lots or tracts, except as may be excluded herein or by state law.

- Any plat for a new subdivision which is not an Administrative Plat or a Minor Re-plat may require the following:
 - a. Concept Plan & Preliminary Plat: This is a working dialogue to address issues of magnitude and complexity. A Site Plan along with a Preliminary Plat are required.
 - b. Final Plat
- City staff shall make determination as to the need of a Concept Plan based on the magnitude and complexity of the plat. Small subdivisions may only require a final plat.
- Concept Plan Review staff will schedule a meeting with applicant in order to render written comments.
 - Public Works, Parks, Public Utilities, Building & Development Services and Police Department may contribute comments.
 - 10 days after completed review, staff will send applicant written comments and recommendations.
 - Applicant then shall prepare necessary changes, prepare final plat, and submit final plat for formal review by Planning and Zoning Commission.
- After 6 months the Concept Plan is considered null and void unless a request for an additional one time 6 month extension is made.
- The Concept Plan can be amended during this time at no additional charge.
- The Concept Plan should accompany the plat when submitted for formal and final review.

CONCEPT PLAN/PRELIMINARY PLAT CHECKLIST:

The Preliminary Plat: Preliminary plats shall be drawn to a convenient scale of not less than 100 feet to an inch and shall show the following information (either on the plat or supporting document) for the area to be platted and all land within 200 feet of the outer boundary of the subdivision:

- (1) Proposed Name: The proposed name of the subdivision shall not duplicate the name of any plat previously recorded within Aransas County.
- (2) Project Ownership: Name and address of legal owner(s), lien holder(s), if any, or agents of same, and:
 - a. Any encumbrances, including but not limited to verification of payment of property taxes and existing covenants on the property, if any; and
 - b. Any other contiguous holdings.
- (3) Adjacent Ownership: Names and current deed recordings for adjacent property owners.
- (4) Professional Firms: Name, address and telephone number of the professional person(s) responsible for subdivision design, for the design of public improvements, surveys and any environmental reports.
- (5) Title Block: Graphic and numerical scale, north arrow and date.
- (6) Description: Legal description of the subdivision outer boundary.
- (7) Vegetation: Location of any trees larger than six inches in diameter at breast height (DBH) which would be located in proposed rights-of-way.
- (8) Topography: The plat map shall show elevations at two-foot intervals unless elevations are relatively level, in which case elevations shall be shown at intervals consistent with good engineering practice. Should heavy ground cover be a problem, major irregularities such as streams, gullies, or marshes shall be shown.
- (9) Utilities-Existing: Location and sizes of existing sewers, water mains, gas pipelines, culverts and other underground structures within the tract and immediately adjacent thereto; including electrical utilities.
- (10) Utilities-Proposed: Proposals for connection with electric, gas and telephone systems, public water and sewage systems, or alternative means of providing sanitary sewage disposal if the city grants a waiver under state law. Appropriate covenants, easements and other restrictions shall be shown.
- (11) Storm-water Management Plan: Preliminary provisions for collecting and discharging surface water drainage. (Refer to the city's master drainage plan.)
- (12) Flood Zone: The location of any flood zones as depicted on the FEMA Flood Hazard Map.
- (13) Lots: Location, dimensions and areas of all proposed lots.
- (14) Building Line: All front and side street building setback lines based upon current zoning applications. (A typical lot plan is acceptable.)

- (15) Recreational and Public Uses: The approximate location, dimensions and area of all parcels of land proposed to be set aside for private or public recreation use (park) or other public use. Land to be dedicated to the city shall be so indicated. (Refer to section 90-58 for parkland dedication procedures.)
- (16) Common Areas: Any proposed open spaces intended as common areas, but not public spaces under public ownership. Maintenance of these areas shall be the responsibility of a homeowners association.
- (17) Phasing: If the plat is to be developed in phases, such phasing shall be shown.
- (18) Vicinity map: General location map showing the proposed platted area relative to the community.
- (19) Land use: Indication of the proposed use of any lot other than a single-family detached lot, e.g. multifamily, commercial, office, etc.
- (20) Block and Lot Numbers: Blocks shall be consecutively numbered or lettered in order. All lots in each block shall be consecutively numbered.

HELPFUL DEFINITIONS:

Sec. 90-21. Classification of plats.

(a) Plats are hereby classified as follows:

- (1) *Subdivision plat*: A plat for new subdivision development which is not an administrative plat or a re-plat as defined under paragraphs (2) and (3) below, and will require the following:
- (2) *Administrative plat*: A plat in which:
 - a. Adjustments to platted lots are needed that meet the criteria for amending plats described by sections 212.0065 and 212.016, Local Government Code (L.G.C.), 2000 edition;
 - b. A minor plat involving four or fewer lots fronting on an existing street and not requiring the creation of any new street or the extension of public facilities (section 212.0065, L.G.C., 2000 edition); or
 - c. A re-plat under section 212.0145 that does not require the creation of any new street or the extension of municipal facilities.

Administrative plats may be processed administratively "in-house" under procedures as outlined under section 90-33, Administrative procedure, of this chapter, and only a final plat may be required.

- (3) *Re-plat*: A plat in which changes to existing plat(s) are needed to reconfigure or create lots, including building setback lines, which may or may not impact public improvements and do not meet the requirements for "Amending Plats" as addressed in section 212.016, L.G.C., 2000 edition. Public hearings required per section 212.014 and section 212.015, L.G.C., 2000 edition. Only a final plat may be required.