



City of Rockport

ZONING BOARD OF ADJUSTMENT REGULAR MEETING

AGENDA

THURSDAY, JULY 24, 2025 - 5:30 PM
ROCKPORT CITY HALL
212 N LIVE OAK
ROCKPORT, TEXAS 78382

Notice is hereby given that Rockport Zoning Board of Adjustment will hold a Regular Meeting on Thursday, July 24, 2025, at 5:30 PM. The meeting will be held in person in the Council Chambers in City Hall, 212 N. Live Oak, Rockport, Texas 78382. The live stream link to view the meeting is <https://rockporttx.portal.civicclerk.com/>.

The Zoning Board of Adjustment welcomes citizen participation and comments at all their Meetings on an Agenda item or any subject matter.

Written comments submitted by 3:30 p.m. on the day of the meeting.

- Complete the Speaker Card - locate the card online (<https://rockporttx.gov/FormCenter/Citizen-Participation-Form-7/Citizen-Participation-Form-52>)
- Written Comments received by the deadline may be read, but will be added to the website under the meeting.

Sign up in person.

- Speaker's cards are located at the entrance of the meeting room and must be delivered to the City Secretary before the meeting begins.
- Any citizen with handouts should provide them to the City Secretary before the meeting. If you wish the City Council to receive your handouts for the meeting, please provide 8 copies; if not, the Zoning Board of Adjustment will receive your handouts the following day.

Rules for Citizen Participation.

- Speakers will be limited to three minutes.
- While civic public criticism is not prohibited; disorderly conduct or disturbance of the peace as prohibited by law shall be cause for the chair to terminate the offender's time to speak.

NOTE: The City Council may adjourn into Executive Session to consider any item listed on this agenda if a matter is raised that is appropriate for discussion. An announcement will be made based on the Executive Session discussion. The City Council may also publicly discuss any item listed on the agenda for the Executive Session.

Notice is hereby given that other elected or appointed officials may attend the City Council Meeting at the date and time above in numbers that may constitute a quorum. No action or minutes will be taken by such in attendance.

This facility is wheelchair-accessible and accessible parking spaces are available. Requests for accommodation or interpretive services must be made 48 hours before this meeting. Please get in touch with the City Secretary's office at (361) 729-2213, ext. 225, or FAX (361) 790-5966 or email sgoodwin@rockporttx.gov for further information. Braille is not available.

I. OPENING AGENDA

1. Call meeting to order. ()

II. PUBLIC HEARING

2. Conduct a Public Hearing to consider a request for relief from the Zoning Ordinance for the 20 foot rear setback be reduced to 5 feet on property located at 1026 Patton St, otherwise known as the W ½ of Lot 9, N 12 ½ ‘ of the W ½ of Lot 10. ()
3. Conduct a Public Hearing to consider a request for relief from the Zoning Ordinance for the 20’ front setback be reduced to 15’ on property located at 1856 Bay Shore otherwise known as Lot 30, Block 1, Key Allegro Unit #1. ()

III. REGULAR AGENDA

4. Deliberate and act on March 27, 2025, regular meeting minutes. ()
5. Deliberate and act on a request for relief from the Zoning Ordinance for the 20 foot rear setback be reduced to 5 feet on property located at 1026 Patton St, otherwise known as the W ½ of Lot 9, N 12 ½ ‘ of the W ½ of Lot 10. ()
6. Deliberate and act on a request for a request for relief from the Zoning Ordinance for the 20’ front setback be reduced to 15’ on property located at 1856 Bay Shore otherwise known as Lot 30, Block 1, Key Allegro Unit #1. ()

IV. ADJOURN

7. Adjournment. ()

CERTIFICATION

This is to certify that I, Carey Dietrich, posted this Agenda before 5:00pm on July 21, 2025, on the bulletin board of the City of Rockport City Hall, 212 N Live Oak, Rockport, Texas 79382.



Carey Dietrich
Director of Building and Development

ZONING BOARD OF ADJUSTMENT AGENDA

Notice is hereby given that the Rockport Zoning Board of Adjustment will hold a Meeting on Thursday, July 24, 2025, at 5:30 p.m. The meeting will be held at City of Rockport City Hall, 212 N Live Oak, Rockport, Texas.

Public participation is valued and citizens wishing to express their views on agenda items can electronically submit a citizen participation form in order to register to speak by going to <https://rockporttx.gov/MyAccount/?from=Url&url=%2FFormCenter%2FCitizen-Participation-Form-7%2FBoard-and-Commission-Comment-Participati-56>. Using the same form, citizens can also provide written comments to the Community Planner by 4:00 p.m. on the day of the meeting. The Chair will read the comments and they will be summarized in the minutes of the meeting.

The matters to be discussed and acted upon are as follows:

Opening Agenda

1. Call meeting to order.

Public Hearing

2. Conduct a Public Hearing to consider a request for relief from the Zoning Ordinance for the 20 foot rear setback be reduced to 5 feet on property located at 1026 Patton St, otherwise known as the W ½ of Lot 9, N 12 ½ ‘ of the W ½ of Lot 10.
3. Conduct a Public Hearing to consider a request for relief from the Zoning Ordinance for the 20’ front setback be reduced to 15’ on property located at 1856 Bay Shore otherwise known as Lot 30, Block 1, Key Allegro Unit #1.

Regular Agenda

4. Deliberate and act on March 27, 2025, regular meeting minutes.
5. Deliberate and act on a request for relief from the Zoning Ordinance for the 20 foot rear setback be reduced to 5 feet on property located at 1026 Patton St, otherwise known as the W ½ of Lot 9, N 12 ½ ‘ of the W ½ of Lot 10.
6. Deliberate and act on a request for a request for relief from the Zoning Ordinance for the 20’ front setback be reduced to 15’ on property located at 1856 Bay Shore otherwise known as Lot 30, Block 1, Key Allegro Unit #1.
7. Adjournment.

Special Accommodations

This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary’s office at 361/729-2213 ext. 225 or FAX 361/790-5966 or E-Mail citysec@cityofrockport.com for further information. Braille is not available.

Certification

I certify that the above notice of meeting was posted on the bulletin board at Rockport Service Center, 2751 State Highway 35 Bypass, Rockport, Texas and on the bulletin board at Rockport City Hall, 212 N Live Oak on Monday, July 21, 2025, by 12:00 p.m. and on the City’s webpage at www.cityofrockport.com.



Carey Dietrich, Director Building & Development



PUBLIC HEARING

Zoning Board of Adjustment

NOTICE is hereby given that the Rockport Zoning Board of Adjustment will hold a Public Hearing on Thursday, July 24, 2025, at 5:30 p.m., **City of Rockport City Hall, 212 N Live Oak, Rockport, Texas**, to consider a request for relief from the Zoning Ordinance for the 20 foot rear setback be reduced to 5 feet on property located at 1026 Patton St, otherwise known as the W ½ of Lot 9, N 12 ½ ‘ of the W ½ of Lot 10.

The City encourages citizens to participate and make their views known at this Public Hearing. For further information on this request please contact the Building Department at (361) 790-1125. This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's office at (361) 729-2213 ext. 225 or FAX (361) 790-5966 or e-mail citysec@cityofrockport.com for further information. Braille is not available.

POSTED: this the 3rd day of July, 2025, by 4:00p.m. on the bulletin board at City of Rockport Service Center, 2751 S.H. 35 Bypass, and at Rockport City Hall, 212 N Live Oak, Rockport, Texas and on the webpage www.cityofrockport.com.

PUBLISHED: in *The Rockport Pilot* in the Thursday, July 3, 2025 Edition, in accordance with the City of Rockport Code of Ordinances.

CITY OF ROCKPORT, TEXAS

A handwritten signature in black ink that reads "Carey Dietrich". The signature is written in a cursive, flowing style.

Carey Dietrich,
Director Building & Development
Community Planner

STAFF REPORT

Building & Development Services | Carey Dietrich, Community Planner
 2751 SH 35 Bypass, Rockport, TX 78362
 Phone: (361) 790-1125, x. 226 | Email: communityplanner@cityofrockport.com

**PROPERTY ADDRESS/LOCATION**

1026 Patton

APPLICANT/PROPERTY OWNER

Jose Trevino, Owner

PUBLIC HEARING DATE

ZBA – Thursday, July 24, 2025
 CC – N/A

ZBA DATE

ZBA – Thursday, July 24, 2025

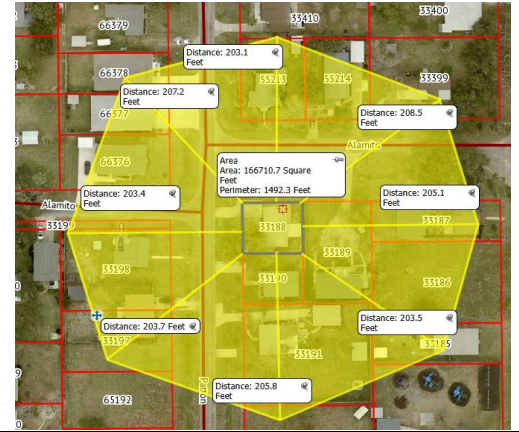
CITY COUNCIL DATE(S)

1st Reading – N/A
 2nd Reading – N/A

BRIEF SUMMARY OF REQUEST

Property owner, Jose Trevino is requesting a variance to the rear setback of 20' in order to add an ADA bathroom and update existing patio cover in the rear of his residential dwelling.

A public notice regarding this item was published in The Rockport Pilot in the Thursday, July 3, 2025 edition and mailed out to nineteen (19) property owners within a 200-foot radius of the property. Two (2) letters For and No letters Against the request have been received at this time.



EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS	SIZE OF PROPERTY
R-5 – 2 nd Multi Family Dwelling District	Residential Dwelling	N – R-1 1 st Single Family Dwelling District S – R-1 1 st Single Family Dwelling District E – R-1 1 st Single Family Dwelling District B-1 – General Business District W - R-1 1 st Single Family Dwelling District	Established Residential Dwelling	0.10 acres Lot Size: 62' X 70'

APPROVE

STAFF RECOMMENDATION
APPROVE WITH CONDITIONS

DENY

COMPATIBILITY with the ZONING ORDINANCE

The Current Future Land Use Map suggests Residential Use

PROPERTY HISTORY

Staff recognizes the need for the ADA bathroom which would need a 10' setback; however, the addition of the deck does not have an established hardship.

No hardship has been established to warrant the Variance for the addition of the deck; however

Staff recommends Approval of a 10' rear setback to allow the addition of an ADA bathroom.

ATTACHMENTS (CIRCLE)

SUBMITTED PLANS

PUBLIC HEARING PETITION/
 APPLICATION FORM

LEGAL NOTICE

LEGAL DESCRIPTION

PUBLIC COMMENTS

AGENCY COMMENTS

RESPONSE TO
 STANDARDS

OTHER (DESCRIBE)



PUBLIC HEARING

Zoning Board of Adjustment

NOTICE is hereby given that the Rockport Zoning Board of Adjustment will hold a Public Hearing on Thursday, July 24, 2025, at 5:30 p.m., **City of Rockport City Hall, 212 N Live Oak, Rockport, Texas**, to consider a request for relief from the Zoning Ordinance for the 20 foot rear setback be reduced to 5 feet on property located at 1856 Bay Shore otherwise known as Lot 30, Block 1, Key Allegro Unit #1.

The City encourages citizens to participate and make their views known at this Public Hearing. For further information on this request please contact the Building Department at (361) 790-1125. This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's office at (361) 729-2213 ext. 225 or FAX (361) 790-5966 or e-mail citysec@cityofrockport.com for further information. Braille is not available.

POSTED: this the 3rd day of July, 2025, by 4:00p.m. on the bulletin board at City of Rockport Service Center, 2751 S.H. 35 Bypass, and at Rockport City Hall, 212 N Live Oak, Rockport, Texas and on the webpage www.cityofrockport.com.

PUBLISHED: in *The Rockport Pilot* in the Thursday, July 3, 2025 Edition, in accordance with the City of Rockport Code of Ordinances.

CITY OF ROCKPORT, TEXAS

Carey Dietrich,
Director Building & Development
Community Planner

STAFF REPORT

Building & Development Services | Carey Dietrich, Community Planner
 2751 SH 35 Bypass, Rockport, TX 78362
 Phone: (361) 790-1125, x. 226 | Email: communityplanner@cityofrockport.com

**PROPERTY ADDRESS/LOCATION**

1856 Bay Shore

APPLICANT/PROPERTY OWNER

Mason Barnes, Owner

PUBLIC HEARING DATE

ZBA – Thursday, July 24, 2025
 CC – N/A

ZBA DATE

ZBA – Thursday, July 24, 2025

CITY COUNCIL DATE(S)

1st Reading – N/A
 2nd Reading – N/A

BRIEF SUMMARY OF REQUEST

Property owner, Mason Barnes, is requesting a variance to the front setback of 20' be reduced to 15' in order to somewhat reduce the salt spray and general coverage of the salt spray on the residential dwelling as the lot is adjacent to Aransas Bay rather than a canal. Staff inadvertently published the request as a Variance to the rear setback but wish to correct that in these proceedings.

A public notice regarding this item was published in The Rockport Pilot in the Thursday, July 3, 2025 edition and mailed out to fourteen (14) property owners within a 200-foot radius of the property. No letters For and One (1) letter Against the request have been received at this time.



MAP SOURCE: Pictometry

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS	SIZE OF PROPERTY
R-2 – 2 nd Single Family Dwelling District	Vacant Land	N – R-2 2 nd Single Family Dwelling District S – R-2 2 nd Single Family Dwelling District E – Aransas Bay W - R-2 2 nd Single Family Dwelling District	Vacant Lot with bulkhead	0.28 acres Lot Size: 75' X 164.26'

STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

COMPATIBILITY with the ZONING ORDINANCE

The Current Future Land Use Map suggests Residential Use

PROPERTY HISTORY

Staff recognizes the need to attempt to protect the new residential dwelling from the harsh elements of the open bay and he has received approval from both neighboring property owners as required by Key Allegro Property owners Association.

Staff recommends Approval of the request to reduce the front setback from 20' to 15'.

ATTACHMENTS (CIRCLE)

SUBMITTED PLANS

PUBLIC HEARING PETITION/
APPLICATION FORM

LEGAL NOTICE

LEGAL DESCRIPTION

PUBLIC COMMENTS

AGENCY COMMENTS

RESPONSE TO
STANDARDS

OTHER (DESCRIBE)

ZONING BOARD OF ADJUSTMENTS MINUTES

On this the 27th day of March 2025, the Zoning Board of Adjustments held a Meeting at 5:30 p.m., at City of Rockport Service Center 2751 S H 35 Bypass, Rockport. Texas. Notice of meeting giving time, date and subject having been posted as described in V.T.C.A., Government Code § 551.041.

Members Present

Warren Hassinger, Chair
Patt Bemrose
Pamela Dixon Frost
Rocky Gudim
Janetta Davis

Members Absent

Rick Smith
Brandi Picton

Staff Members Present

Carey Dietrich, Director Building & Development / Community Planner
Robert Decker, Chief Building Official
Belinda Garcia, Administrator Coordinator
Stacy Cantu, Building & Development Planning Technician
Finn Klanica, IT

Guest(s) Present

One (1)

Open Meeting

1. Called meeting to order at approximately 5:31 p.m.

Public Hearing

Chairman Hassinger opened the Public Hearing at approximately 5:31 pm.

2. Conduct a Public Hearing to consider a request for relief from the setbacks as established by the Key Allegro Design Code which was adopted by Variance in August of 2024 for the installation of a swimming pool at the property located at 21 Bahama, Rockport, Aransas County, Texas.
3. Conduct a Public Hearing to consider a request for relief from the 20' front setback required for commercial properties for the community building for the Red Roof RV Getaway located at 2610 San Antonio.

Raul Munguia, property owner, Spoke in favor of the Variance

Regular Agenda

Chairman Hassinger opened the regular meeting at approximately 5:39pm

4. Deliberate and act on February 20, 2025, regular meeting minutes.
Motion: Member Pamela Dixon Frost made a motion to approve the minutes as presented.
Member Gudim seconded the motion. **Motion passed unanimously.**

5. Deliberate and act on a request for relief from the setbacks as established by the Key Allegro Design Code which was adopted by Variance in August of 2024 for the installation of a swimming pool at the property located at 21 Bahama, Rockport, Aransas County, Texas

Carey Dietrich, Community Planner, went over pool specs, staff recommends denial. Mario with Mario's Pools did not attend meeting. Member Dixon Frost spoke from realtor point of view and Member Gudim spoke from Builders point of view, understanding there is no room for pool at property. Robert Decker, Building Official, spoke on setbacks, and why pool would not fit on property.

Motion: Member Gudim made a motion to deny the Variance request, and Member Bemrose seconded.

Chairman Hassinger read the ten (10) Findings of Fact, which must be determined in the affirmative for the variance to be granted. All 10 items were in the negative, and all voted Aye in favor of the Motion to Deny the Variance.

6. Deliberate and act on a request for relief from the 20' front setback required for commercial properties for the community building for the Red Roof RV Getaway located at 2610 San Antonio.

Members discussed concerns about the example they would be setting for the community because the building was built against code. Members also unanimously agreed upon the improvement it is making in the community. But concluded if permit was paid for including the penalty fee, the variance could be granted.

Motion: Member Dixon Frost motioned to grant the variance with the condition that the contractor come in and pull the correct permits and pay the penalty fee, and Member Gudim seconded.

Chairman Hassinger read the ten (10) Findings of Fact, which must be determined in the affirmative for the variance to be granted. All 10 items were in the affirmative, and all voted Aye in favor of the Motion to Approve the Variance with conditions.

7. Adjournment.

Motion: Member Gudim made a motion to adjourn. Member Dixon Frost seconded the motion. **Motion passed unanimously.**

Chairman Hassinger adjourned the meeting at approximately 6:14 p.m.

Prepared By:

Stacy Cantu, Building & Development Planning Technician

Approved By:

Warren Hassinger, Chairman

Zoning Board of Adjustment AGENDA

Called Meeting: Thursday, July 24, 2025

AGENDA ITEM: 5

Deliberate and act on a request for relief from the Zoning Ordinance for the 20 foot rear setback be reduced to 5 feet on property located at 1026 Patton St, otherwise known as the W ½ of Lot 9, N 12 ½ ‘ of the W ½ of Lot 10, Block 202, Smith & Wood Subdivision

SUBMITTED BY: Community Planner / Carey Dietrich

BACKGROUND: Property owner, Jose Trevino is requesting a variance to the rear setback of 20’ in order to add an ADA bathroom and update existing patio cover in the rear of his residential dwelling. Staff recognizes the need for the ADA bathroom to accommodate a family member; however, there is no established hardship for the addition of the stairs and upper deck requested.

A public notice regarding this item was published in The Rockport Pilot in the Thursday, July 3, 2025 edition and mailed out to nineteen (19) property owners within a 200-foot radius of the property. Two letters For and none Against the request have been received at this time.

Please see the accompanying variance request application and Sec 118-20 Table 20 for detail information.

FISCAL ANALYSIS: N/A

RECOMMENDATION: Staff recommends Denial of a request for relief from the Zoning Ordinance for the 20 foot rear setback be reduced to 5 feet on property located at 1026 Patton St, otherwise known as the W ½ of Lot 9, N 12 ½ ‘ of the W ½ of 10, Block 202, Smith & Wood Subdivision.

Staff recommends approval of reducing the 20’ rear setback to a 10’ rear setback in order for the requester to provide an ADA bathroom for the family member.



**City of Rockport
Board of Adjustment
Findings of Fact for Zoning Ordinance Variance**

Applicant: Jose Trevino

Lot/Tract/: 1026 Patton – W ½ of Lot 9, N 12 ½ ‘ of the W ½ of 10, Block 202, Smith & Wood Subdivision.

Upon giving public notice and conducting a public hearing on this variance request in accordance with the City of Rockport Code of Ordinances, the Zoning Board of Adjustment adopts these specific, written findings as follows:

		YES	NO
1.	That there are special circumstances or conditions peculiar to the property involved; and		
2.	That the strict application of the terms of the Ordinance will impose upon the applicant unusual and practical difficulties or particular hardship.		
3.	That literal interpretation of the Ordinance will deprive the applicant of rights commonly enjoyed by other properties in the same district under the Ordinance; and		
4.	That the proposed variance is in harmony with the Ordinance's general purpose and intent; and		
5.	That the granting of the variance will not merely serve as a convenience to the applicant; and		
6.	That the granting of the variance will alleviate some demonstrable and unusual hardship or difficulty for the applicant; and		
7.	That granting the variance will not confer upon the applicant any special privilege that is denied by the Ordinance to other similarly situated properties in the same district; and		
8.	That the variance is in the public interest and will ensure that public substantial justice will be done.		
9.	That the surrounding property will be properly protected.		
10.	Remaining regulations are adequate to govern the project.		

All findings must be determined in the affirmative for the variance to be granted.

With _____ members present, and upon a vote of _____ for, _____ against, and _____ abstaining, the variance is hereby:

_____ **Granted**

_____ **Denied**

Presiding Officer of the Zoning Board of Adjustment

Date

3/27/2025



City of Rockport

Building & Development – 2751 SH 35 Bypass, Rockport, TX 78382 • (361) 790-1125 • FAX (361) 729-6476
www.cityofrockport.com

VARIANCE APPLICATION

A separate variance application for each (non-compliant) condition within a single building or facility must be submitted by the owner (or owner's designated agent) and must include a \$150.00 **non-refundable application fee**.

In addition, the application must be accompanied by plans (site and/or architectural) of all affected areas and any supporting documentation that provides adequate proof to the Zoning Board of Adjustment that compliance with the City of Rockport's Code of Ordinances is impractical or irrelevant to the nature, use, or function of the building or facility.

** IMPORTANT INFORMATION **

The appeal shall be made within 10 business days after the decision of the administrative official is made, by filing with the administrative official a completed application for appeal and filing fee. Incomplete applications and applications received without the required fee(s) will not be processed.

FORM MUST BE COMPLETED IN FULL

PLEASE PRINT OR TYPE

1. Has this project been reviewed?	Yes ☐ No ☒	2. If yes, name of reviewer:	
3. Has this project been inspected?	Yes ☐ No ☒	4. If yes, name of inspector & date of inspection:	

5. Project Name: <u>Trevino House</u>			
6. Building/Facility Name:			
7. Address: <u>1026 Patton St</u>	Suite #:	City: <u>Rockport</u>	Zip Code: <u>78382</u>

8. Description: Indicate the type of project: New Construction ☐ <u>Addition</u> ☐ Alteration ☐	9. Scope of Work (Describe the construction activities): <u>① Add new bathroom in rear lot (w/ADA clearances)</u> <u>② Update existing patio cover</u>
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10. Square Footage of Building: <u>1196</u>	11. Square Footage Per Floor: <u>1196</u>
12. Is this building a qualified historic building: Yes ☐ No ☒ If yes, a copy of the determination of effect letter from the Texas Historical Commission (THC) must accompany this application.	13. State the specific location of the violation within the building or site: <u>Rear Setback</u>

14. Intent to Apply: I hereby apply for a variance from the City of Rockport Zoning Board of Adjustment. (Check one) I am the <u>Owner</u> ☐ Owner's Agent ☐			
15. Name: <u>Jose Trevino</u>		16. Company/Firm:	
17. Address: <u>1026 Patton St.</u>	18. City: <u>Rockport</u>	19. State: <u>TX</u>	20. Zip Code: <u>78382</u>
21. Phone #: <u>210 790 1011</u>	22. Fax #:	23. E-mail: <u>jutsae19@yahoo.com</u>	
24. Signature: <u>[Signature]</u>		25. Date: <u>05/28/25</u>	

**City of Rockport
Variance Application**

OWNER'S AFFIDAVIT

I, Jose Treviño, being first duly sworn, depose and say that I am the OWNER of the property described and which is the subject matter of the proposed hearing; that all the answers to the questions in this application, and all sketches, data and other supplementary matter attached to and made a part of the application, are honest and true to the best of my knowledge and belief. I understand this application must be completed and accurate before hearings can be advertised. I also understand that it is my obligation to comply with any other lawfully adopted and recorded deed restrictions or covenants that are more restrictive or impose a higher standard, and that any action of this Board does not supersede those requirements.

Jose Treviño
Printed Name of Owner

[Signature]
Signature of Owner

1026 Patton St
Physical Address

8622 Dana Top Dr
Mailing Address

Rockport, TX 78382
City/State/Zip Code

Boerne, TX 78015
City/State/Zip Code

STATE OF TEXAS

§

COUNTY OF

Bexar

§

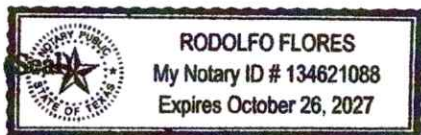
The foregoing instrument was acknowledged before me on this 28th day of

May, 2025, by Jose Treviño and
(name)

_____ who are personally known by me or who has
(name)

produced TX DL #18634080 and _____
(document) (document)

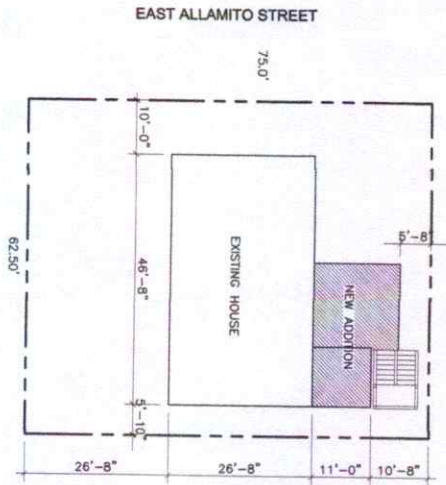
respectively, as identification and who did (did not) take an oath:



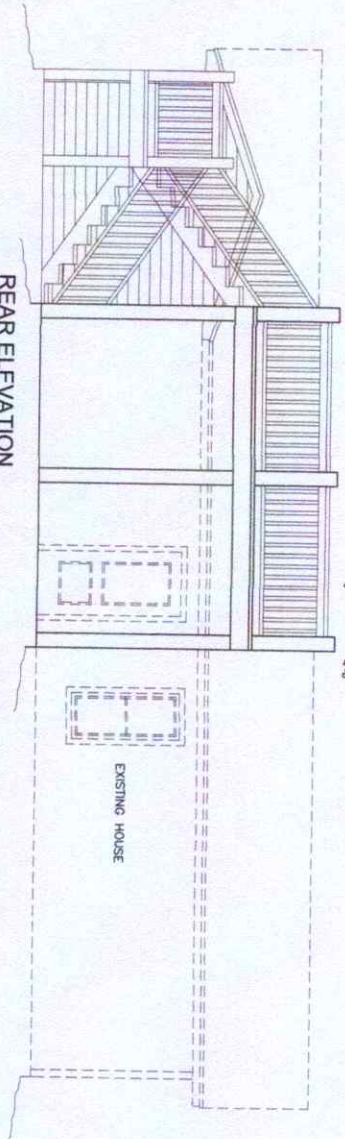
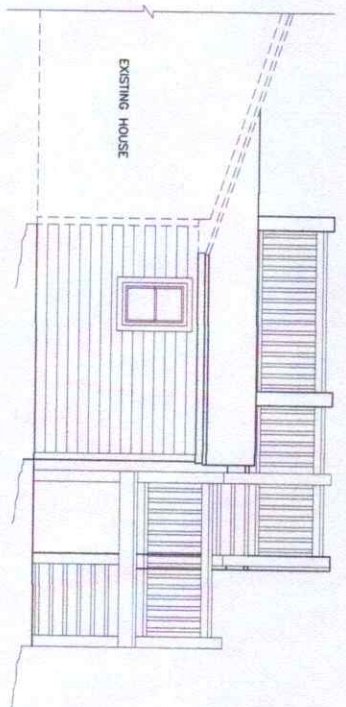
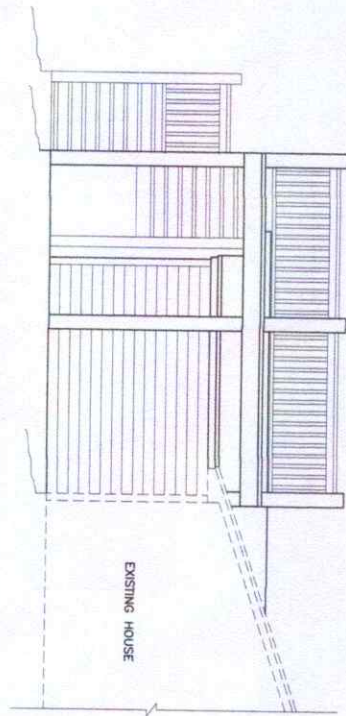
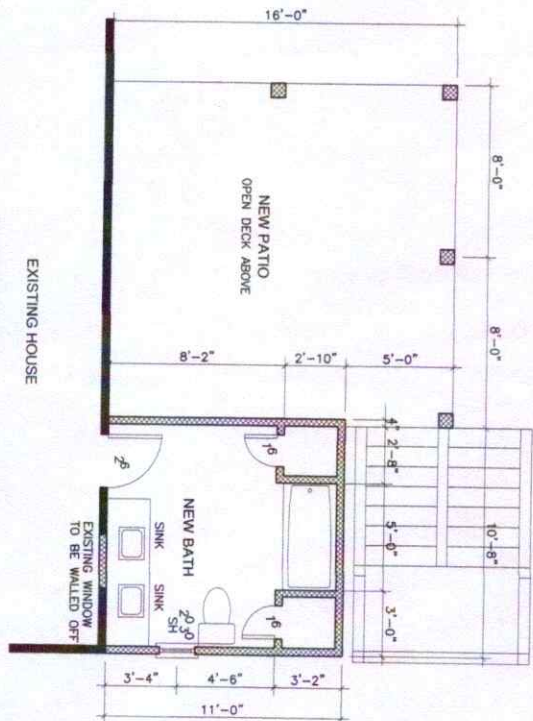
[Signature]
Notary Public Signature

My Commission Expires: 10/26/27

Rodolfo Flores
Printed Name



LEGEND	
	EXISTING WALLS
	NEW WALLS



1026 PATTON STREET
HOUSTON, TEXAS

smithmeyer

ARCHITECTS

2005 ARCHITECT

DATE: 07-20-2005

REVISIONS: 01-20-2005

REVISIONS: 02-20-2005

REVISIONS: 03-20-2005

REVISIONS: 04-20-2005

REVISIONS: 05-20-2005

REVISIONS: 06-20-2005

REVISIONS: 07-20-2005

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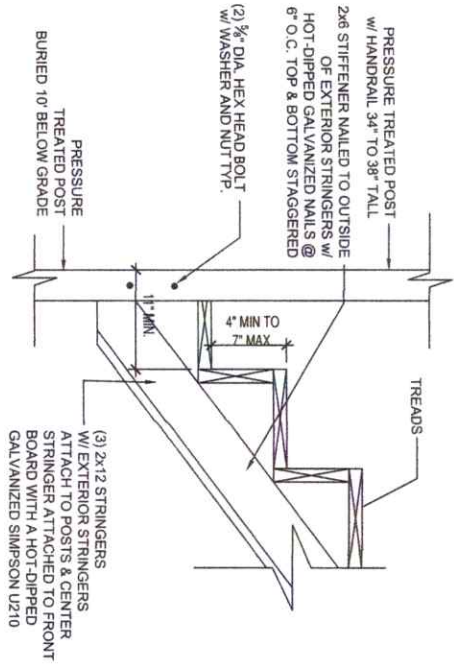
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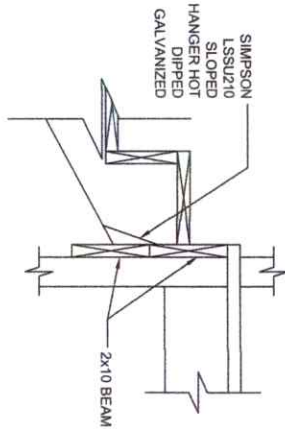
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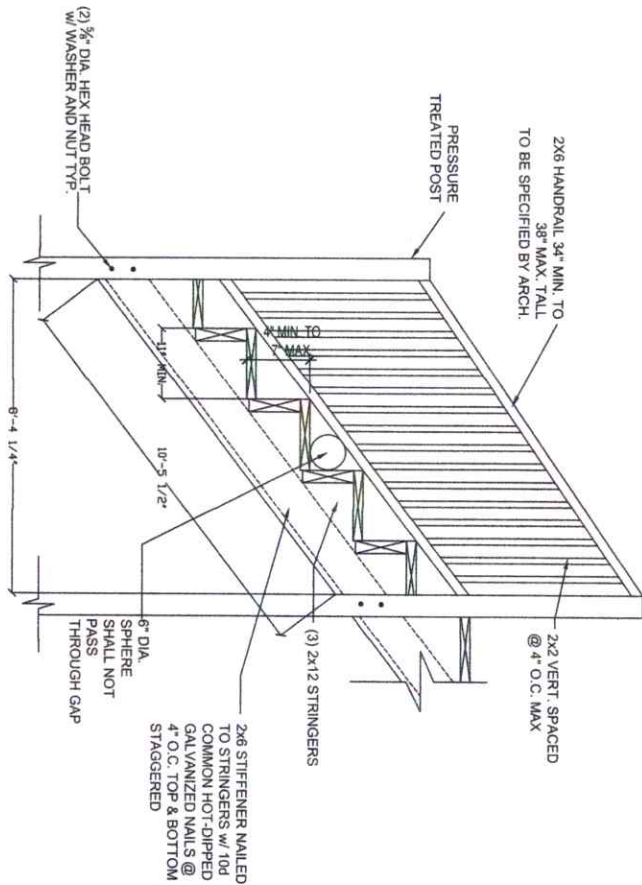
REVISIONS: 12-20-2020



01
BASE OF STAIR DETAIL
NOT TO SCALE



02
STAIR W/ POST DETAIL
NOT TO SCALE



03
STAIR ELEVATION DETAIL
NOT TO SCALE

STAIR NOTES

1. MINIMUM STAIRWAY CLEARANCE OF 36" WIDTH
2. ANY STAIRWAY WITH VERTICAL RISE LARGER THAN 12" BETWEEN FLOOR LEVELS MUST HAVE A MINIMUM 36"X36" LANDING



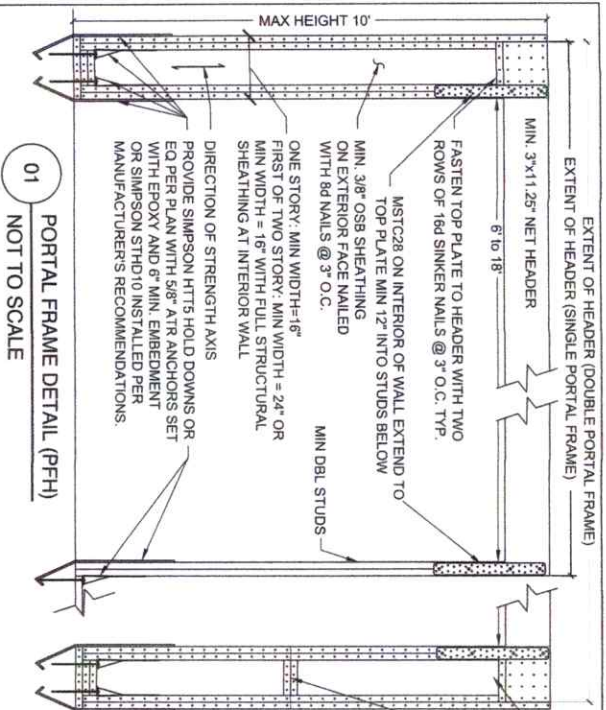
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4/29/2025

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	ROCKPORT, TX 78382		CHECKED BY: LJS	
	SHEET TITLE: STAIR DETAILS			
	SCALE: VARIES			
	ORIGINAL: 04/29/2025	REV A: N/A	REV B: N/A	REV C: N/A

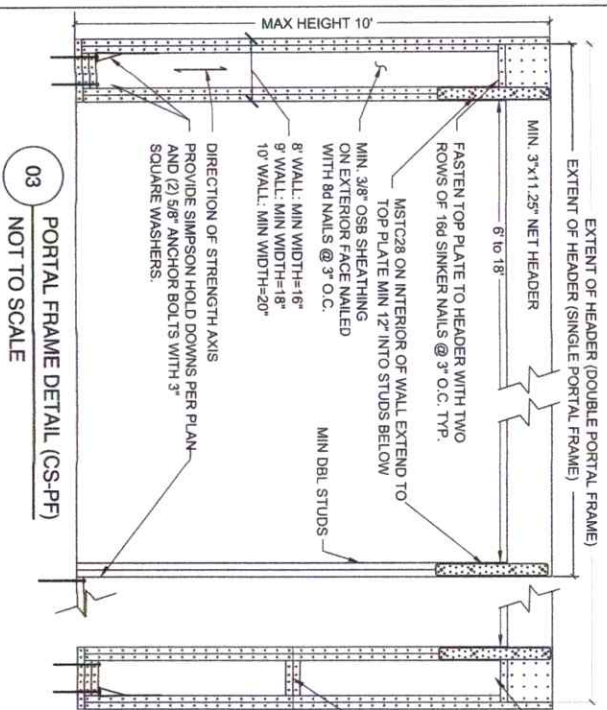
WINDSHORE
ENGINEERING, LLC

TEXAS ENGINEERING FIRM F-17772
4161 HWY 35 NORTH UNIT 1
ROCKPORT, TX 78382
(361)450-0234



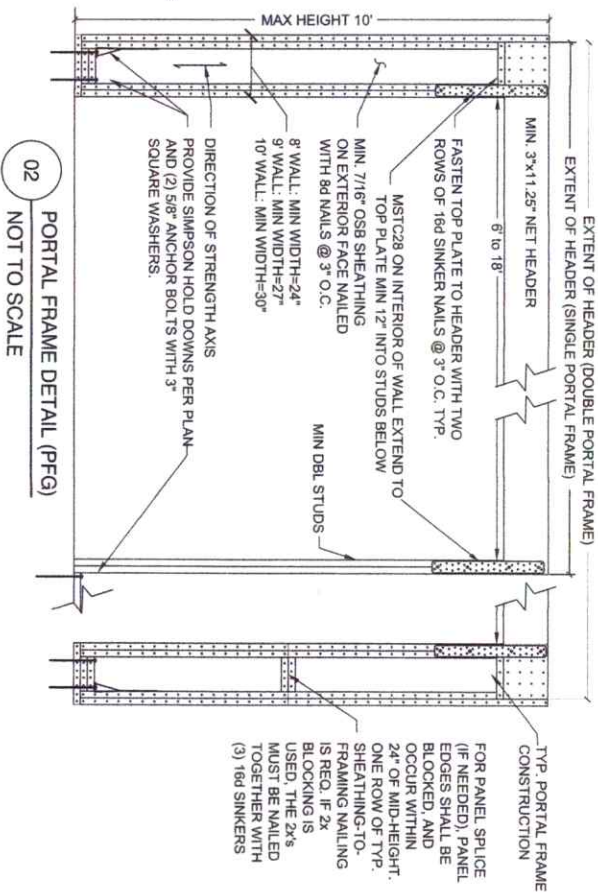
EXTENT OF HEADER (DOUBLE PORTAL FRAME)
 MIN. 3"x11.25" NET HEADER
 MAX HEIGHT 10"
 FASTEN TOP PLATE TO HEADER WITH TWO ROWS OF 16d SINKER NAILS @ 3" O.C. TYP.
 MIN. 3/8" OSB SHEATHING ON EXTERIOR FACE NAILED WITH 8d NAILS @ 3" O.C.
 MIN. DBL STUDS
 FIRST OF TWO STORY; MIN WIDTH = 24" OR MIN WIDTH = 16" WITH FULL STRUCTURAL SHEATHING AT INTERIOR WALL
 DIRECTION OF STRENGTH AXIS
 PROVIDE SIMPSON HTTS HOLD DOWNS OR EQ PER PLAN WITH 5/8" ATR ANCHORS SET WITH EPOXY AND 6" MIN. EMBEDMENT OR SIMPSON STD10 INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

TYP. PORTAL FRAME CONSTRUCTION
 FOR PANEL SPLICE (IF NEEDED), PANEL EDGES SHALL BE BLOCKED AND OCCUR WITHIN 24" OF MID-HEIGHT. ONE ROW OF TYP. SHEATHING-TO-FRAMING NAILING IS REQ. IF 2x BLOCKING IS USED, THE 2x's MUST BE NAILED TOGETHER WITH (3) 16d SINKERS



EXTENT OF HEADER (SINGLE PORTAL FRAME)
 MIN. 3"x11.25" NET HEADER
 MAX HEIGHT 10"
 FASTEN TOP PLATE TO HEADER WITH TWO ROWS OF 16d SINKER NAILS @ 3" O.C. TYP.
 MIN. 3/8" OSB SHEATHING ON EXTERIOR FACE NAILED WITH 8d NAILS @ 3" O.C.
 MIN. DBL STUDS
 FIRST OF TWO STORY; MIN WIDTH = 24" OR MIN WIDTH = 16" WITH FULL STRUCTURAL SHEATHING AT INTERIOR WALL
 DIRECTION OF STRENGTH AXIS
 PROVIDE SIMPSON HTTS HOLD DOWNS OR EQ PER PLAN WITH 5/8" ATR ANCHORS SET WITH EPOXY AND 6" MIN. EMBEDMENT OR SIMPSON STD10 INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

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EXTENT OF HEADER (SINGLE PORTAL FRAME)
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 MIN. DBL STUDS
 FIRST OF TWO STORY; MIN WIDTH = 24" OR MIN WIDTH = 16" WITH FULL STRUCTURAL SHEATHING AT INTERIOR WALL
 DIRECTION OF STRENGTH AXIS
 PROVIDE SIMPSON HTTS HOLD DOWNS OR EQ PER PLAN WITH 5/8" ATR ANCHORS SET WITH EPOXY AND 6" MIN. EMBEDMENT OR SIMPSON STD10 INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

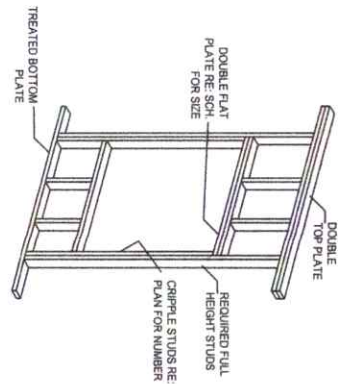
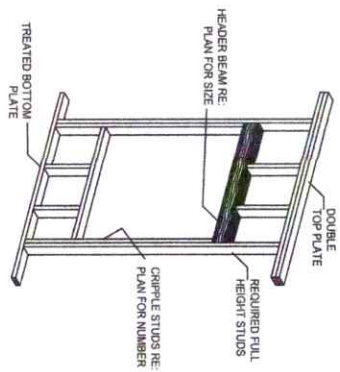
TYP. PORTAL FRAME CONSTRUCTION
 FOR PANEL SPLICE (IF NEEDED), PANEL EDGES SHALL BE BLOCKED AND OCCUR WITHIN 24" OF MID-HEIGHT. ONE ROW OF TYP. SHEATHING-TO-FRAMING NAILING IS REQ. IF 2x BLOCKING IS USED, THE 2x's MUST BE NAILED TOGETHER WITH (3) 16d SINKERS



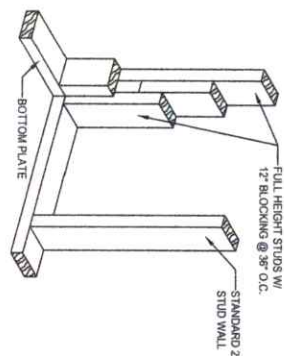
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 04/29/2025

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	SCALE: VARIES			
	ORIGINAL: 04/29/2025	REV A: N/A	REV B: N/A	REV C: N/A

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 TEXAS ENGINEERING FIRM F-17772
 4161 HWY 35 NORTH UNIT 1
 ROCKPORT, TX 78382
 (361)450-0234



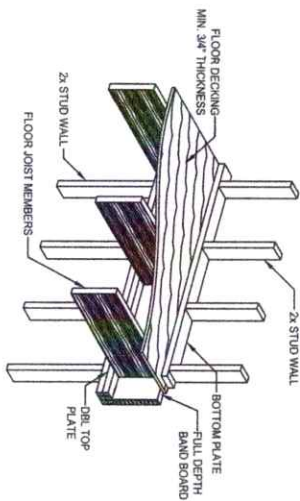
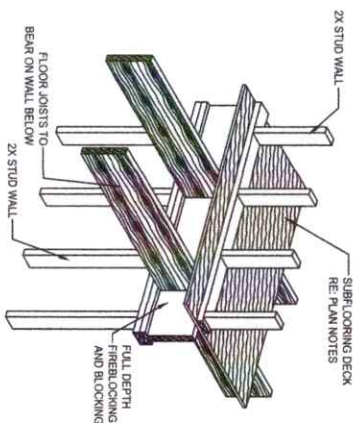
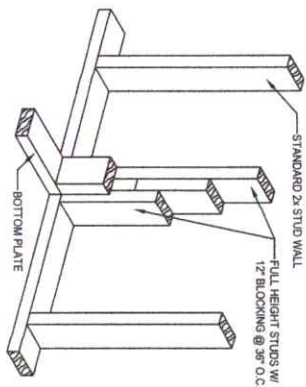
NON-LOAD BEARING HEADER SCHEDULE				
HEADER SPAN	MIN. HEADER SIZE	MIN. REQUIRED CORRE STUDS	MIN. REQUIRED FULL HT STUDS	
2'-0"	(1) 2x4 FLAT	1	1	1
3'-0"	(1) 2x4 FLAT	1	2	2
4'-0"	(1) 2x4 FLAT	1	2	2
5'-0"	(2) 2x4 FLAT	2	3	3
6'-0"	(2) 2x4 FLAT	2	3	3
7'-0"	(2) 2x4 FLAT	2	3	3
8'-0"	(2) 2x6 FLAT	2	3	3
9'-0"	(2) 2x6 FLAT	2	3	3
10'-0"	(2) 2x6 FLAT	2	4	4
11'-0"	(2) 2x6 FLAT	3	4	4
12'-0"	(2) 2x6 FLAT	3	5	5



01 LOAD BEARING HEADER DETAIL
NOT TO SCALE

02 NON BEARING HEADER DETAIL
NOT TO SCALE

03 EXTERIOR CORNER FRAMING
NOT TO SCALE



04 INTERSECTING WALL FRAMING
NOT TO SCALE

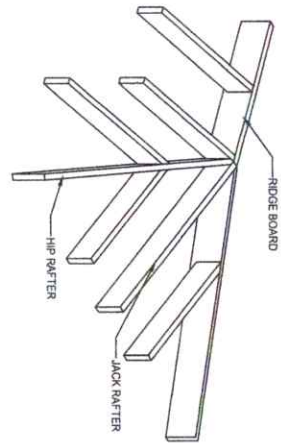
05 FRAMING OVER BEARING WALL
NOT TO SCALE

06 EXTERIOR BEARING WALL
NOT TO SCALE

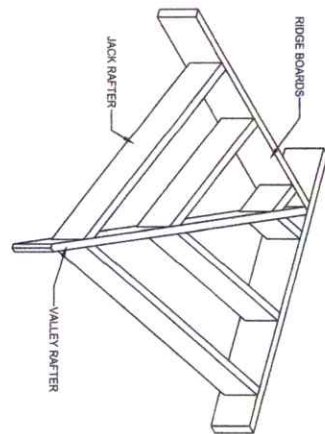


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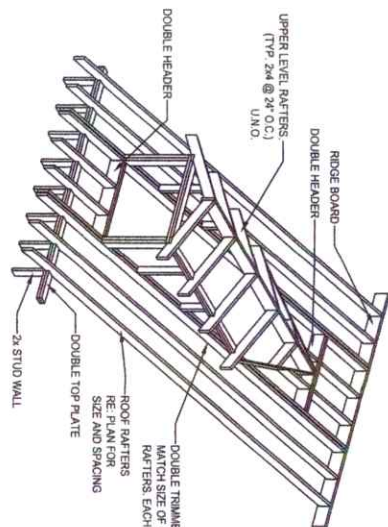
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	SHEET TITLE: WALL DETAILS			
	SCALE: VARIES			
	ORIGINAL: 04/29/2025	REV A: N/A	REV B: N/A	REV C: N/A
	TEXAS ENGINEERING FIRM F-17772 4161 HWY 35 NORTH UNIT 1 ROCKPORT, TX 78382 (361)450-0234			



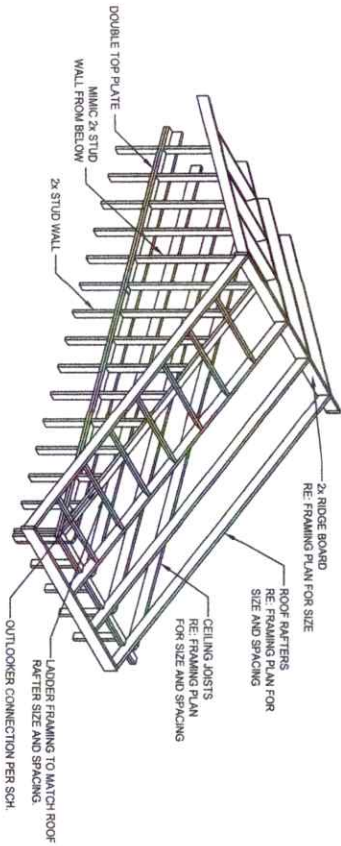
01 HIP RAFTER ROOF FRAMING
NOT TO SCALE



02 VALLEY RAFTER ROOF FRAMING
NOT TO SCALE



03 GABLE DORMER FRAMING
NOT TO SCALE



04 ROOF FRAMING GABLE OVERHANG
NOT TO SCALE

WIND SPEED (mph)	115	130	140	150
OUTLOOKER SPACING (in)	(4) 8d NAILS	(6) 8d NAILS	(6) 8d NAILS	(6) 8d NAILS
12	(4) 10d NAILS	(6) 10d NAILS	(6) 10d NAILS	(6) 10d NAILS
16	(4) 10d NAILS	(6) 10d NAILS	(6) 10d NAILS	(6) 10d NAILS
24	(6) 10d NAILS	(6) 10d NAILS	(6) 10d NAILS	(6) 10d NAILS

NOTES:
1) OUTLOOKER CONNECTION DESIGNED FOR EXPOSURE CATEGORY C.
2) TABULATED OUTLOOKER UPLIFT CONNECTIONS ARE BASED ON 2 FOOT OVERHANGS.



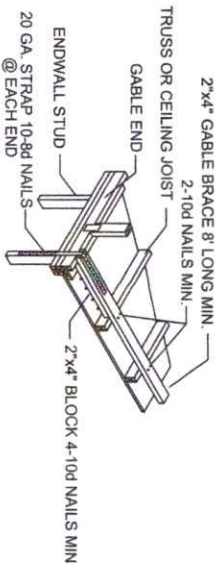
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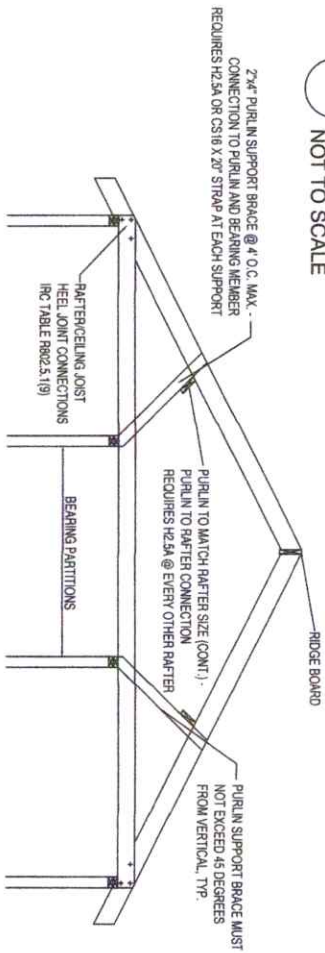
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	SHEET TITLE: ROOF DETAILS		CHECKED BY: LJS	
	SCALE: VARIES			
	ORIGINAL: 04/29/2025	REV A: N/A	REV B: N/A	REV C: N/A
WINDSHORE ENGINEERING, LLC TEXAS ENGINEERING FIRM F-17772 4161 HWY 35 NORTH UNIT 1 ROCKPORT, TX 78382 (361)450-0234				

ROOF AND CEILING FRAMING NOTES:

1. RAFTERS TO BE FRAMED IN LINE AT RIDGES, HIPs, AND VALLEYS TO ALLOW FOR ALL APPLICABLE MAIN WIND FORCE RESISTING SYSTEM (M/WFRS) STRAPPING
2. ALL RIDGES, HIPs, AND VALLEYS ARE TO BE ONE SIZE LARGER THAN RAFTER SIZE UNLESS OTHERWISE NOTED
3. ALL RAFTERS MUST BE CONTINUOUS BETWEEN SUPPORTS
4. ALL RAFTERS TO BE TOE-NAILED TO TOP PLATE WITH (3) 8d COMMON NAILS
5. WHERE THE ROOF PITCH IS LESS THAN 3:12, STRUCTURAL MEMBERS SUPPORTING RAFTERS AND CEILING JOISTS (SUCH AS RIDGE BEAMS, HIPs, AND VALLEYS) SHALL BE DESIGNED AS BEAMS
6. RAFTER TIES SHALL BE A MINIMUM OF 2"x4" INSTALLED IN ACCORDANCE WITH THE CONNECTION REQUIREMENTS IN IRC TABLE R802.5.1(9), OR CONNECTIONS OF EQUIVALENT CAPACITIES SHALL BE PROVIDED. WHERE CEILING JOISTS OR RAFTER TIES ARE NOT PROVIDED, THE RIDGE FORMED BY THESE RAFTERS SHALL BE SUPPORTED BY A WALL BEAM, OR GIRDER DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE.
7. CEILING JOISTS OR RAFTER TIES MAY BE RAISED A MAXIMUM OF ONE THIRD OF THE RAFTER HEIGHT ABOVE TOP PLATE

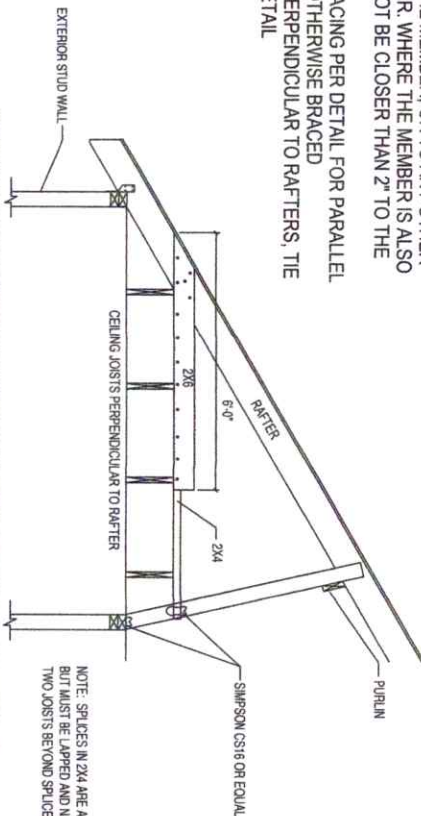


01
NOT TO SCALE
GABLE ENDWALL BRACING DETAIL



03
NOT TO SCALE
RAFTER SUPPORT DETAIL

8. COLLAR TIES IN THE UPPER THIRD OF RAFTER ARE AN ACCEPTABLE SUBSTITUTE FOR SPECIFIED RIDGE STRAP
9. THE ENDS OF EACH RAFTER OR CEILING JOIST SHALL HAVE NOT LESS THAN 1-1/2" OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3" ON MASONRY OR CONCRETE
10. NOTCHES IN SOLID LUMBER JOISTS, RAFTERS, AND BEAMS SHALL NOT EXCEED ONE-SIXTH OF THE DEPTH OF THE MEMBER, SHALL NOT BE LONGER THAN ONE-THIRD OF THE DEPTH OF THE MEMBER, AND SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE SPAN. NOTCHES AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE-FOURTH THE DEPTH OF THE MEMBER. THE TENSION SIDE OF MEMBERS 4" OR GREATER IN NOMINAL THICKNESS SHALL NOT BE NOTCHED EXCEPT AT THE ENDS OF THE MEMBERS. THE DIAMETER OF THE HOLES BORED OR CUT INTO MEMBERS SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE MEMBER. HOLES SHALL NOT BE CLOSER THAN 2" TO THE TOP OR BOTTOM OF THE MEMBER, OR TO ANY OTHER HOLE LOCATED IN THE MEMBER. WHERE THE MEMBER IS ALSO NOTCHED, THE HOLE SHALL NOT BE CLOSER THAN 2" TO THE NOTCH.
11. PROVIDE GABLE ENDWALL BRACING PER DETAIL FOR PARALLEL CEILING JOISTS WHERE NOT OTHERWISE BRACED
12. WHERE CEILING JOISTS ARE PERPENDICULAR TO RAFTERS, THE CEILING AND RAFTERS PER DETAIL



02
NOT TO SCALE
PERPENDICULAR CEILING JOIST TIE DETAIL

13. END JOINTS IN ROOF DECKING SHALL OCCUR OVER SUPPORTS AND END JOINTS SHALL BE STAGGERED A MINIMUM OF ONE MEMBER ON ADJACENT ROWS
14. ROOF DECKING PANELS TO BE ATTACHED WITH 8d NAILS AT 6" O.C. (OR BETTER) AT ALL PANEL EDGES AND ALL SUPPORTING FRAMING MEMBERS IN FIELD
15. ROOF DECKING PANELS TO BE APA RATED PL WOOD OR OSB AND MEET THE REQUIREMENTS OF THE APPLICABLE ROOFING SYSTEM PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND THE APPLICABLE BUILDING CODE(S)



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S4.2	SHEET NO:	04/29/2025	JOB ADDRESS: 1026 PATTON ST.				DRAWN BY: DNB	
			ROCKPORT, TX 78382				CHECKED BY: LJS	
			SHEET TITLE: ROOF FRAMING NOTES AND DETAILS					
			SCALE: VARIES					
			ORIGINAL: 04/29/2025	REV A: N/A	REV B: N/A	REV C: N/A		

WINDSHORE

ENGINEERING, LLC

TEXAS ENGINEERING FIRM F-17772
4161 HWY 35 NORTH UNIT 1
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WINDSHORE
ENGINEERING, LLC
TEXAS ENGINEERING FIRM F-17772
4161 HWY 35 NORTH UNIT 1
ROCKPORT, TX 78382
(361)450-0234

FRAMING NOTES

GENERAL FRAMING:

1. ALL STRUCTURAL FRAMING MEMBERS TO BE SOUTHERN PINE #2 (SP#2) UNLESS OTHERWISE NOTED
2. ALL FRAMING MATERIAL EXPOSED TO WEATHER SHALL BE PRESSURE TREATED
- 2.1. IF DIRECT CONTACT W/ SALT WATER 2.5 CCA
- 2.2. IF DIRECT CONTACT W/ FRESHWATER 0.8 CCA
- 2.3. IF DIRECT CONTACT W/ GROUND 0.6 CCA
3. ALL BEAM-TO-PILE ANCHOR BOLTS SHALL BE 5/8" WITH 2" HDG SQUARE STEEL PLATE WASHERS
4. PROVIDE DECK TENSION TIES FOR ALL DECKS ATTACHED VIA LEDGER PER IRC R507.9.2
- 4.1. FOLLOW SIMPSON STRONG-TIE TECHNICAL BULLETIN T-C-DECKLATA21 FOR DECK TENSION TIE INSTALLATION INSTRUCTIONS
- 4.2. USING DTT22 TENSION TIES, PROVIDE NO LESS THAN (2) HOLD-DOWN TENSION DEVICES WITHIN 2 FEET OF THE EDGE OF THE DECK
- 4.3. USING DTT12 TENSION TIES, PROVIDE NO LESS THAN (4) HOLD-DOWN TENSION DEVICES EVENLY SPACED ACROSS THE WIDTH OF THE DECK WITH THE OUTER (2) WITHIN 2 FEET OF THE EDGE OF THE DECK

FLOORS:

1. THE END OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1-1/2" OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3" ON MASONRY OR CONCRETE EXCEPT WHERE SUPPORTED ON A 1"x4" RIBBON STRIP AND NAILED TO THE ADJACENT STUD OR BY THE USE OF APPROVED JOIST HANGERS
2. JOISTS SHALL BE SUPPORTED LATEROALLY AT THE ENDS BY FULL-DEPTH SOLID BLOCKING NOT LESS THAN 2" NOMINAL IN THICKNESS, OR BY ATTACHMENT TO A FULL-DEPTH HEADER, BAND, OR RIM JOIST TO PREVENT ROTATION
3. MULTIPLE JOISTS SHALL BE NAILED WITH (3) ROWS OF 16d NAILS SPACED @ 12" O.C., THERE SHALL BE NO SPLICES IN SAID MULTIPLE JOIST MEMBERS.
4. NOTCHES IN SOLID LUMBER JOISTS, RAFTERS, AND BEAMS SHALL NOT EXCEED ONE-SIXTH OF THE DEPTH OF THE MEMBER, SHALL NOT BE LONGER THAN ONE-THIRD OF THE DEPTH OF THE MEMBER, AND SHALL NOT BE LOCATED IN THE MIDDLE

JOIST FRAMING FROM OPPOSITE SIDES OVER A BEARING

5. SUPPORT SHALL LAP A MINIMUM OF 3' AND SHALL BE NAILED TOGETHER WITH A MINIMUM OF (3) 10d FACE NAILS. A WOOD OR METAL SPLICE WITH STRENGTH EQUAL TO OR GREATER THAN THAT PROVIDED BY THE NAILED LAP IS PERMITTED
6. OPENINGS IN FLOOR FRAMING SHALL BE FRAMED WITH A HEADER AND TRIMMER JOISTS. WHEN THE HEADER JOIST SPAN DOES NOT EXCEED 4 FEET, THE HEADER JOIST MAY BE A SINGLE MEMBER THE SAME SIZE AS THE FLOOR JOIST. SINGLE TRIMMER JOISTS MAY BE USED TO CARRY A SINGLE HEADER JOIST BEARING. SINGLE TRIMMER JOISTS MAY BE USED TO CARRY A SINGLE HEADER JOIST THAT IS LOCATED WITHIN 3 FEET OF THE TRIMMER JOIST BEARING. WHEN THE HEADER JOIST SPAN EXCEEDS 4 FEET, THE TRIMMER JOISTS AND HEADER JOIST SHALL BE DOUBLED AND OF SUFFICIENT CROSS SECTION TO SUPPORT THE FLOOR JOISTS FRAMING INTO THE HEADER. APPROVED HANGERS SHALL BE USED FOR THE HEADER JOIST TO TRIMMER JOIST CONNECTIONS WHEN THE HEADER JOIST SPAN EXCEEDS 4 FEET
7. JOISTS UNDER PARALLEL BEARING PARTITIONS SHALL BE OF ADEQUATE SIZE TO SUPPORT THE LOAD. DOUBLE JOISTS, SIZED TO ADEQUATELY SUPPORT THE LOAD, THAT ARE SEPARATED TO PERMIT THE INSTALLATION OF PIPING OR VENTS SHALL BE FULL DEPTH SOLID BLOCKED WITH LUMBER NOT LESS THAN 2" NOMINAL IN THICKNESS SPACED NOT MORE THAN 4 FEET ON CENTER.
8. BEARING PARTITIONS PERPENDICULAR TO JOISTS SHALL NOT BE OFFSET FROM SUPPORTING GIRDERS, WALLS OR PARTITIONS MORE THAN THE JOIST DEPTH UNLESS SUCH JOISTS ARE OF SUFFICIENT SIZE TO CARRY THE ADDITIONAL LOAD
9. SHEATHING USED AS STRUCTURAL SUBFLOOR SHALL BE A MINIMUM 3/4" THICK AND INSTALLED PERPENDICULAR TO THE SUPPORTS. JOINTS SHALL OCCUR OVER SUPPORTS UNLESS END-MATCHED LUMBER IS USED, IN WHICH CASE EACH PIECE SHALL BEAR ON AT LEAST TWO SUPPORTS.
10. PLYWOOD USED AS STRUCTURAL SUBFLOOR SHALL BE A MINIMUM 3/4" THICK, TONGUE AND GROOVE APA RATED SHEATHING WITH SPAN RATING OF 48/24 INSTALLED PERPENDICULAR TO THE SUPPORTS

WALLS:

1. ALL SILL PLATE TO FOUNDATION ANCHORS TO BE 5/8" HOT DIP GALVANIZED (HDG) WITH 3" SQUARE STEEL PLATE WASHERS ACHIEVING NO LESS THAN 7" EMBEDMENT INTO SLAB ON GRADE FOUNDATION (ONE ANCHOR BOLT SHALL BE PROVIDED BETWEEN 6 AND 12 INCHES OF EACH END OF EACH PLATE, INCLUDING SPLICES)
2. ALL LOAD-BEARING WALLS TO BE CONSTRUCTED WITH MINIMUM 2"x4" STUDS SPACED NO MORE THAN 16" O.C. WITH LATEROALLY UNSUPPORTED STUD HEIGHT NOT EXCEEDING 10 FEET
3. BLOCKING REQUIRED AT MID-SPAN OF STUDS WHEN WALL HEIGHT IS GREATER THAN 9 FEET

NO LESS THAN (3) STUDS SHALL BE INSTALLED AT ALL EXTERIOR

4. WALL CORNERS
5. MULTIPLE STUDS SHALL BE SECURED WITH 10d NAILS SPACED AT 24" O.C.
6. ALL EXTERIOR WALLS TO BE CONSTRUCTED WITH DOUBLE TOP PLATES IN ACCORDANCE WITH IRC R602.3.2
7. ALL EXTERIOR WALLS AND MAIN CROSS-STUD PARTITIONS SHALL BE EFFECTIVELY AND THOROUGHLY BRACED AS REQUIRED BY IRC R602.10
8. SPLICING OF STUDS IS NOT ALLOWED. ALL STUDS MUST BE CONTINUOUS
9. STUD WALLS 12' OR HIGHER SHALL HAVE 2"x6", (2) 2"x4", OR 4"x4" STUDS AT 16" O.C.
10. STUD WALLS SUPPORTING TWO FULL FLOORS ABOVE SHALL HAVE 2"x6", (2) 2"x4", OR 4"x4" STUDS AT 16" O.C.
11. IN EXTERIOR WALLS AND BEARING PARTITIONS, ANY WOOD STUD MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. CUTTING OR NOTCHING OF STUDS TO A DEPTH NOT GREATER THAN 40 PERCENT OF THE WIDTH OF THE STUD IS PERMITTED IN NON-LOAD BEARING PARTITIONS SUPPORTING NO LOADS OTHER THAN THE WEIGHT OF THE PARTITIONS.
12. A HOLE NOT GREATER IN DIAMETER THAN 40 PERCENT OF THE STUD WIDTH MAY BE BORED IN ANY WOOD STUD. BORED HOLES NOT GREATER THAN 60 PERCENT OF THE WIDTH OF THE STUD ARE PERMITTED IN NON-LOAD BEARING PARTITIONS OR IN ANY WALL WHERE EACH BORED STUD IS DOUBLED. PROVIDED NOT MORE THAN TWO SUCH SUCCESSIVE DOUBLED STUDS ARE SO BORED. AVOID NOTCHES AND HOLES IN COLUMNS. IN NO CASE SHALL THE EDGE OF THE BORED HOLE BE NEARER THAN 5/8" TO THE EDGE OF THE STUD. BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH.



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4/29/2025

SHEET NO: S4.1	JOB ADDRESS: 1026 PATTON ST., ROCKPORT, TX 78382		DRAWN BY: DNB		 TEXAS ENGINEERING FIRM F-17772 4161 HWY 35 NORTH UNIT 1 ROCKPORT, TX 78382 (361)450-0234
	SHEET TITLE: FRAMING NOTES		CHECKED BY: LJS		
	SCALE: N/A				
	ORIGINAL: 04/29/2025	REV A: N/A	REV B: N/A	REV C: N/A	

HEADER SPANS					HEADER SPANS					HEADER SPANS				
(supporting roof and ceiling only, DL = 20 psf)					(supporting roof, ceiling and one floor, DL = 20 psf)					(supporting roof, ceiling and two floors, DL = 20 psf)				
SIZE		Building Width			SIZE		Building Width			SIZE		Building Width		
Max Span	# of Jacks	Max Span	# of Jacks	Max Span	# of Jacks	Max Span	# of Jacks	Max Span	# of Jacks	Max Span	# of Jacks	Max Span	# of Jacks	
(1) 2"x6" SP#2	4'-0"	1	3'-1"	2	2'-7"	(1) 2"x6" SP#2	2'-11"	2	2'-3"	(1) 2"x6" SP#2	2'-3"	2	1'-9"	
(1) 2"x8" SP#2	5'-1"	2	3'-11"	2	3'-3"	(1) 2"x8" SP#2	3'-9"	2	2'-10"	(1) 2"x8" SP#2	2'-10"	2	1'-5"	
(1) 2"x10" SP#2	6'-0"	2	4'-8"	2	3'-11"	(1) 2"x10" SP#2	4'-5"	2	3'-5"	(1) 2"x10" SP#2	3'-4"	2	1'-10"	
(1) 2"x12" SP#2	7'-1"	2	5'-5"	2	4'-7"	(1) 2"x12" SP#2	5'-2"	2	4'-0"	(1) 2"x12" SP#2	4'-0"	3	2'-2"	
(2) 2"x4" SP#2	4'-0"	1	3'-1"	1	2'-7"	(2) 2"x4" SP#2	2'-11"	1	2'-3"	(2) 2"x4" SP#2	2'-3"	3	2'-7"	
(2) 2"x6" SP#2	6'-0"	1	4'-7"	1	3'-10"	(2) 2"x6" SP#2	4'-4"	1	3'-4"	(2) 2"x6" SP#2	3'-4"	3	2'-7"	
(2) 2"x8" SP#2	7'-7"	1	5'-9"	1	4'-10"	(2) 2"x8" SP#2	5'-6"	2	4'-3"	(2) 2"x8" SP#2	4'-3"	1	1'-4"	
(2) 2"x10" SP#2	9'-0"	1	6'-10"	2	5'-9"	(2) 2"x10" SP#2	6'-7"	2	5'-0"	(2) 2"x10" SP#2	5'-0"	2	2'-2"	
(2) 2"x12" SP#2	10'-7"	2	8'-1"	2	6'-10"	(2) 2"x12" SP#2	7'-9"	2	5'-11"	(2) 2"x12" SP#2	5'-11"	2	2'-8"	
(3) 2"x8" SP#2	9'-5"	1	7'-3"	1	6'-1"	(3) 2"x8" SP#2	6'-11"	1	5'-3"	(3) 2"x8" SP#2	5'-3"	3	3'-9"	
(3) 2"x10" SP#2	11'-3"	1	8'-7"	1	7'-3"	(3) 2"x10" SP#2	8'-3"	2	6'-3"	(3) 2"x10" SP#2	6'-3"	1	3'-5"	
(3) 2"x12" SP#2	13'-2"	1	10'-1"	2	8'-6"	(3) 2"x12" SP#2	9'-8"	2	7'-5"	(3) 2"x12" SP#2	7'-5"	2	4'-0"	

FLOOR JOIST SPANS					RAFTER SPANS					BRICK TIE AND STUCCO LATH FASTENING SCHEDULE				
(Residential sleeping areas, LL = 30 psf, DL = 20 psf, L/360)					(ceiling attached to rafters, LL = 20 psf, DL = 20 psf, L/240)					WIND SPEED (V-ult)				
Lumber size	2x6	2x8	2x10	2x12	Lumber size	2x4	2x6	2x8	2x10	2x12	130 (MPH)	140 (MPH)	150 (MPH)	
SP#2 @ 12" O.C.	10'-9"	13'-8"	16'-2"	19'-1"	SP#2 @ 12" O.C.	9'-0"	13'-6"	17'-1"	20'-3"	23'-10"	16"	16"	16"	
SP#2 @ 16" O.C.	9'-4"	11'-10"	14'-0"	16'-6"	SP#2 @ 16" O.C.	7'-9"	11'-8"	14'-9"	17'-6"	20'-8"	16"	16"	12"	
SP#2 @ 24" O.C.	7'-7"	9'-8"	11'-5"	13'-6"	SP#2 @ 24" O.C.	6'-4"	9'-6"	12'-1"	14'-4"	16'-10"	18"	18"	16"	

FLOOR JOIST SPANS					JOIST/BEAM HANGER SCHEDULE				
(Residential living areas, LL = 40 psf, DL = 20 psf, L/360)					(1) 2"x6" SP#2 LUS24				
Lumber size	2x6	2x8	2x10	2x12	(1) 2"x8" SP#2 LUS26				
SP#2 @ 12" O.C.	9'-10"	12'-6"	14'-9"	17'-5"	(1) 2"x10" SP#2 LUS28				
SP#2 @ 16" O.C.	8'-6"	10'-10"	12'-10"	15'-1"	(1) 2"x12" SP#2 LUS210				
SP#2 @ 24" O.C.	7'-0"	8'-10"	10'-5"	12'-4"	(2) 2"x4" SP#2 LUS24-2				
					(2) 2"x6" SP#2 LUS26-2				
					(2) 2"x8" SP#2 LUS28-2				
					(2) 2"x10" SP#2 LUS210-2				
					(2) 2"x12" SP#2 LUS210-3				
					(3) 2"x4" SP#2 LUS24-3				
					(3) 2"x6" SP#2 LUS26-3				
					(3) 2"x8" SP#2 LUS28-3				
					(3) 2"x10" SP#2 LUS210-3				

CEILING JOIST SPANS					MINIMUM NUMBER OF FULL-HEIGHT STUDS				
(uninhabitable attics without storage, LL = 10 psf, DL = 5 psf, L/240)					OPENING WIDTH				
Lumber size	2x4	2x6	2x8	2x10	W ≤ 4'	4' ≤ W ≤ 8'	8' ≤ W ≤ 14'	14' ≤ W ≤ 18'	4
SP#2 @ 12" O.C.	11'-10"	18'-8"	24'-7"	27'-3"	(2) 2"x4" SP#2 LUS24-2				
SP#2 @ 16" O.C.	10'-9"	16'-11"	21'-7"	25'-7"	(2) 2"x6" SP#2 LUS26-2				
SP#2 @ 24" O.C.	9'-3"	13'-11"	17'-7"	20'-11"	(2) 2"x8" SP#2 LUS28-2				
					(2) 2"x10" SP#2 LUS210-2				
					(2) 2"x12" SP#2 LUS210-3				
					(3) 2"x4" SP#2 LUS24-3				
					(3) 2"x6" SP#2 LUS26-3				
					(3) 2"x8" SP#2 LUS28-3				
					(3) 2"x10" SP#2 LUS210-3				

CEILING JOIST SPANS					GENERAL NOTES				
(uninhabitable attics with limited storage, LL = 20 psf, DL = 10 psf, L/240)					1. ALL SIZING AND SPANS LISTED REFERENCE INFORMATION FROM CHAPTERS 5, 6, AND 8 OF THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC)				
Lumber size	2x4	2x6	2x8	2x10	2. ALL HANGERS AND CONNECTORS LISTED REFERENCE SIMPSON STRONG-TIE CONNECTIONS				
SP#2 @ 12" O.C.	9'-3"	13'-11"	17'-7"	20'-11"	3. ALL HANGERS AND CONNECTORS TO BE INSTALLED PER MANUFACTURERS INSTRUCTIONS				
SP#2 @ 16" O.C.	8'-0"	12'-0"	15'-3"	18'-1"	4. THE NUMBER AND SIZE OF NAILS USED TO CONNECT WOOD MEMBERS SHALL BE ACCORDING TO IRC TABLE R602.3(1)				
SP#2 @ 24" O.C.	6'-7"	9'-10"	12'-6"	14'-9"					

LESLE J. SEIBENK
P.E. 85581
REGISTERED PROFESSIONAL ENGINEER

4/29/2025

JOB ADDRESS:

1026 PATTON ST.

ROCKPORT, TX 78382

DRAWN BY:

DNB

CHECKED BY:

LJS

SHEET NO:

S4.0

04/29/2025

SHEET TITLE:

SPAN TABLES AND NOTES

SCALE:

N/A

ORIGINAL:

04/29/2025

REV A:

N/A

REV B:

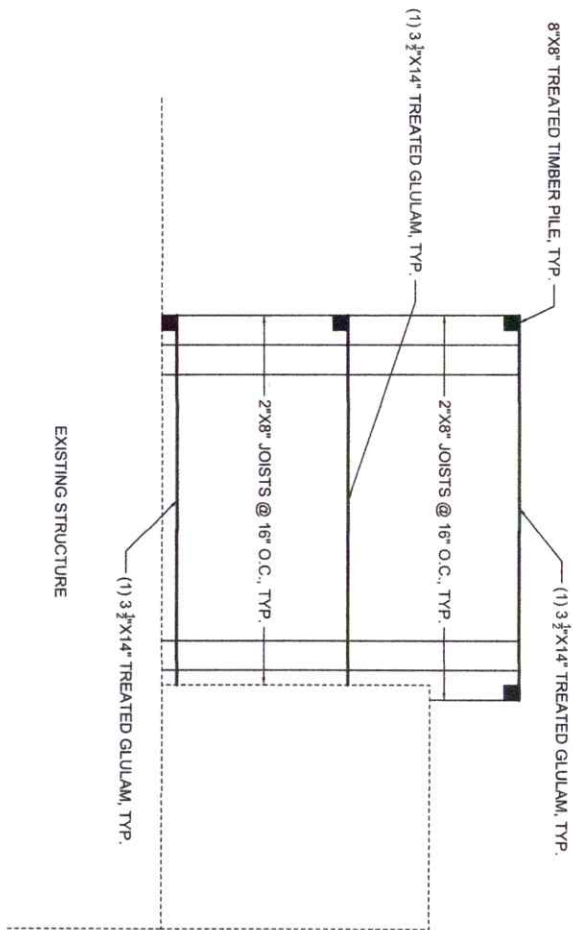
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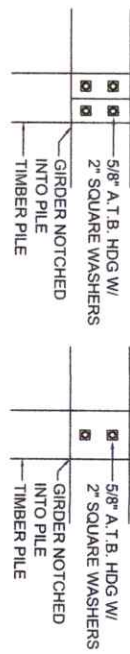
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WINDSHORE
ENGINEERING, LLC

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(361)450-0234

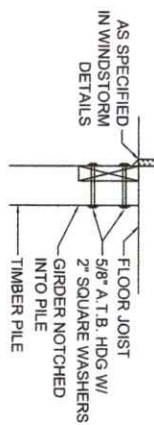


01
ROOFLINE POST AND BEAM LAYOUT
SCALE: 3/16" = 1'-0"



NOTE: TIMBER PILES NOT TO BE NOTCHED MORE THAN 50% AT ANY GIVEN CROSS SECTION

02
BEAM NOTCH DETAIL
SCALE: 1/2" = 1'-0"



NOTE: TIMBER PILES NOT TO BE NOTCHED MORE THAN 50% AT ANY GIVEN CROSS SECTION

03
JOIST/BREAM DETAIL
SCALE: 1/2" = 1'-0"

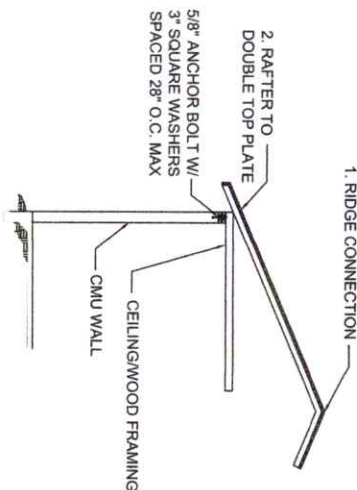


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		ROCKPORT, TX 78382				CHECKED BY: LJS		
		SHEET TITLE: POST AND BEAM DETAILS						
		SCALE: VARIES						
		ORIGINAL:	04/29/2025	REV A:	N/A	REV B:	N/A	

WINDSTORM PLAN					
NOTES AND VARIABLES					
RISK CATEGORY			II		
BASIC WIND SPEED (Vult)			150 mph		
EXPOSURE CATEGORY			C		
TOPOGRAPHIC FACTOR (Kzt)			1		
MEAN ROOF HEIGHT (h)			15LF		
ROOF SLOPE			1:12		
MWFRS CONTINUOUS LOAD PATH					
LOC.	MODEL	PER MEMBER	FASTENERS		CAPACITY
			TOP	BOTTOM	
1	L5TA12	1	(5).148x2.5"	(5).148x2.5"	925 lbs
2	H2.5A	1	(5).131x1.5"	(5).131x1.5"	625 lbs
3					
PER DETAIL 01 / S4.2 @ 48" O.C.					

- WINDSTORM PLAN NOTES
- ALL HOLD-DOWNS LISTED REFERENCE SIMPSON STRONG-TIE CONNECTIONS
 - MAIN WIND FORCE RESISTING SYSTEM (MWFRS) STRAPPING PLAN BASED ON WALL FRAMING SPACED MAXIMUM OF 16" O.C. AND RAFTERS SPACED 16" O.C. (CONTACT ENGINEER IF ANY CHANGES ARE MADE TO THIS SPACING)
 - VERTICAL SHEARWALL PANEL JOINTS SHALL OCCUR OVER COMMON STUDS. HORIZONTAL PANEL JOINTS SHALL OCCUR OVER COMMON BLOCKING OF A MINIMUM 1 3/4" THICKNESS
 - SHEARWALL PANEL FIELD NAILING IS TO BE SPACED PER THE WINDSTORM PLAN TABLE ALONG THE LENGTH OF EACH INTERIOR SUPPORT MEMBER (STUDS NOT REQUIRED TO BE SPACED LESS THAN 16" O.C. UNLESS SPECIFICALLY NOTED AS SUCH)
 - CONSTRUCTION SHALL PROVIDE FOR A CONTINUOUS LOAD PATH FROM ROOF TO FOUNDATION VIA STRAPPING AND HOLD-DOWNS SPECIFIED
 - ALL RAKES MUST BE MECHANICALLY ATTACHED WITH (1) SIMPSON H8 IN ORDER TO RESIST ADDITIONAL UPLIFT FORCES (RAKES AND OVERHANGS MUST BE BLOCKED)
 - HEADER-TO-STUD CONNECTIONS ON THE MWFRS ARE REQUIRED AT EACH END OF HEADER AND CONNECT HEADER TO STUD PACK FOR A CONTINUOUS LOAD PATH MWFRS CONNECTIONS MUST BE ON THE SAME SIDE OF WALL AS HEADER-TO-STUD CONNECTIONS
 - FRAMING MATERIAL SHALL BE SOUTHERN PINE #2 OR BETTER
 - ALL FRAMING MUST ADHERE TO IRC 2018 STANDARDS OR BETTER
 - ALL RAFTERS TO BE TOE-NAILED TO TOP PLATE WITH (3) 8d COMMON NAILS
 - COLLAR TIES IN UPPER THIRD OF RAFTER ARE AN ACCEPTABLE SUBSTITUTE FOR SPECIFIED RIDGE STRAP
 - 15/32" PLYWOOD ROOF DECKING IS REQUIRED FOR METAL ROOF PANEL INSTALLATION. CONTACT THE ENGINEER FOR ANY QUESTIONS OR CLARIFICATIONS.



MWFRS TYPICAL - SLAB ON GRADE

01 WINDSTORM SECTION
NOT TO SCALE



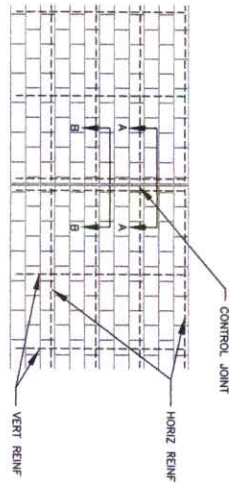
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4/29/2025

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		ROCKPORT, TX 78382				CHECKED BY: LJS	
		SHEET TITLE: WINDSTORM DETAILS					
		SCALE: VARIES					
		ORIGINAL: 04/29/2025		REV A: N/A		REV B: N/A	

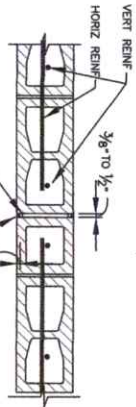
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ELEVATION OF MASONRY WALL WITH CONTROL JOINT

SECTION A-A
HORIZ REINF CONTINUOUS THROUGH JOINT ONLY AT LEDGER OR LINTEL



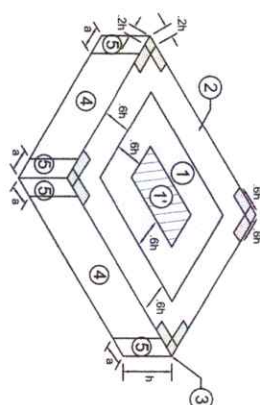
SECTION B-B
HORIZ REINF DOES NOT CROSS JOINT

01 CMU DETAILS
SCALE: 1/8" = 1'-0"

- CMU GENERAL NOTES:
1. MASONRY CONSTRUCTION SHALL CONFORM TO 2018 INTERNATIONAL BUILDING CODE WITH LOCAL CITY CODE, AND ACI 530/530.1-13 REQUIREMENTS.
 2. MORTAR AND GROUT MIX DESIGN SHALL BE PROVIDED BY AN INDEPENDENT TESTING LAB AND MATERIALS USED ON MASONRY SHALL MEET THE FOLLOWING STANDARDS:
 - 2.1 NET AREA COMPRESSIVE STRENGTH MINIMUM 1500 PSI.
 - 2.2 C270 TYPE "N" WITH MINIMUM COMPRESSIVE STRENGTH 750 PSI.
 - 2.3 C270 TYPE "N" WITH MINIMUM 9-IN SLUMP WITH 2000 PSI COMPRESSIVE STRENGTH 750 PSI.
 - 2.4 C476 GROUT WITH MINIMUM 9-IN SLUMP WITH 2000 PSI COMPRESSIVE STRENGTH 750 PSI.
 3. ALL GROUT JOINT REINFORCING, "DURO-WALL" OR BETTER WITH COATING OF EITHER MILL GALVANIZED ASTM A66 CLASS 3 OR HOT-DIP GALVANIZED ASTM A153 CLASS B-2.
 4. LIMIT GROUT POUR TO LAST MAXIMUM GROUT POURS SHALL STOP 2-IN BELOW TOP COARSE OF LIFT TO FORM AN INTERLOCKING KEY. ALL GROUT SHALL BE CONSOLIDATED.
 5. HORIZONTAL JOINT REINFORCING (3/16" DIAMETER SIDE RODS AND NO. 9 GAGE CROSS RODS) SHALL BE PLACED CONTINUOUS IN MORTAR JOINTS AT SPACING AND LOCATIONS SHOWN ON PLANS.
 6. HORIZONTAL BARS SHALL BE PLACED CONTINUOUSLY IN MASONRY COURSES, CONSISTING OF BOND/LINTEL BLOCK UNITS AND SHALL BE SOLIDLY GROUTED.
 7. VERTICAL BARS SHALL BE HELD IN POSITION AT TOP AND BOTTOM WITH MAXIMUM 8-FT INTERVAL, 1/4-IN FROM MASONRY AND NO LESS THAN ONE BAR DIAMETER BETWEEN BARS.
 8. ALL REINFORCING STEEL SHALL BE ASTM GRADE 60.
 9. NOTIFY ENGINEER IF ANY EXISTING CONDITIONS ARE FOUND DIFFERENTLY FROM THE CONSTRUCTION PLANS.
 10. IF PLANS AND SPECIFICATIONS DIFFER FROM REQUIRED MINIMUM STANDARDS SET FOR ORDINANCES OF THE GOVERNING AGENCIES, ORDINANCES SHALL GOVERN.

Design Wind Pressures for Components and Cladding (PSF) - 150 MPH Risk Category II									
Effective Wind Area (SF)	Roof Zones					Wall Zones			
	Center Zone 1'	Interior Zone 1	Exterior Zone 2	Corner Zone 3	Interior Zone 4	Exterior Zone 5			
10	12.0	-27.0	12.0	-46.9	12.0	-84.4	29.5	-32.0	29.5
20	11.2	-35.7	11.2	-43.8	11.2	-57.9	28.1	-30.6	28.1
50	10.2	-30.7	10.2	-39.8	10.2	-52.7	26.4	-28.9	26.4
100	9.5	-27.0	9.5	-36.7	9.5	-48.7	25.1	-27.6	25.1
500	9.5	-18.2	9.5	-29.5	9.5	-39.5	22.0	-24.5	22.0

*These design pressures have already been reduced to the ASD values



FLAT/HIP/GABLE ROOF (0° ≤ θ ≤ 7°)
a = 3'

02 COMPONENTS AND CLADDING ZONE DESIGNATION
NOT TO SCALE

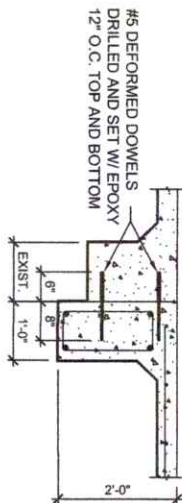
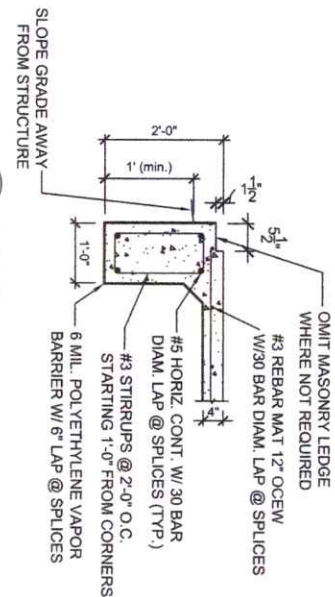
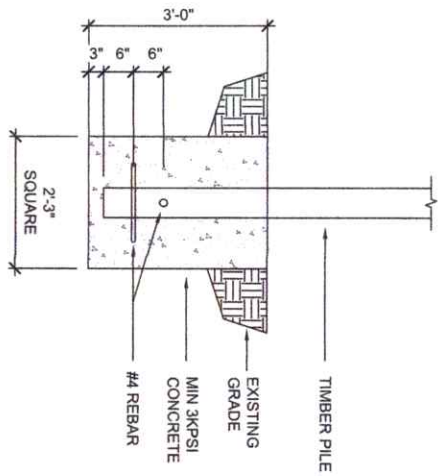
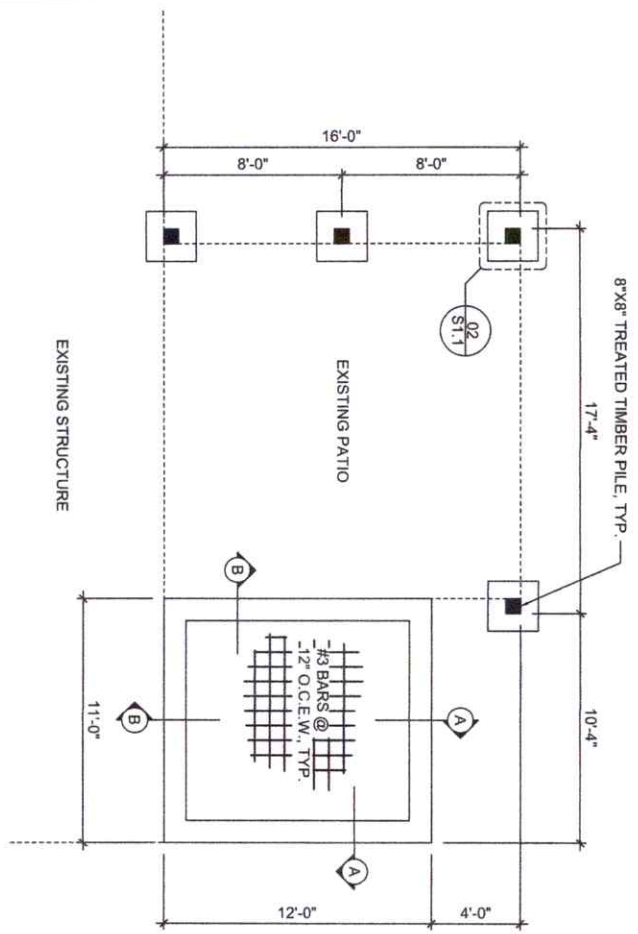


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4/29/2025

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		ROCKPORT, TX 78382					CHECKED BY: LJS	
		SHEET TITLE: WINDSTORM PLAN						
		SCALE: VARIES						
		ORIGINAL: 04/29/2025		REV A: N/A		REV B: N/A		REV C: N/A

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(361)450-0234



- NOTE:
1. ALL GRADE BEAM DEAD-END INTERSECTIONS AND CORNERS ARE TO BE CORNER WRAPPED W/ (4) #5 BARS (TWO TOP, TWO BOTTOM) LAPPED 24" EACH WAY.
 2. CONTRACTOR TO VERIFY ALL DIMENSIONS, LUGS, LEDGES, DROPS, OFF-SETS, ETC.



SHEET NO: S1.1	JOB ADDRESS: 1026 PATTON ST. ROCKPORT, TX 78382		DRAWN BY: DNB	
	SHEET TITLE: FOUNDATION PLAN		CHECKED BY: LJS	
	SCALE: VARIES			
	ORIGINAL: 04/29/2025	REV A: N/A	REV B: N/A	REV C: N/A

WINDSHORE
ENGINEERING, LLC

TEXAS ENGINEERING FIRM F-17772
4161 HWY 35 NORTH UNIT 1
ROCKPORT, TX 78382
(361)450-0234

ERL PROJECT NOTES & BUILDER REQUIREMENTS

- PROJECT STRUCTURE WAS DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC), 2018 EDITION PER TEXAS DEPARTMENT OF INSURANCE REQUIREMENTS.
- ALL MATERIAL AND WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE ABOVE MENTIONED STANDARDS AS WELL AS ALL APPLICABLE REQUIREMENTS BY LOCAL AND OTHER JURISDICTIONS. (THE MORE STRINGENT OF THE TWO SHALL BE USED. IF CONFLICTING.)
- WINDSHORE ENGINEERING, LLC IS NOT RESPONSIBLE FOR ESTABLISHING ELEVATION REQUIREMENTS FOR ANY IMPROVEMENTS. CONTRACTOR/OWNER IS RESPONSIBLE FOR MEETING AND/OR EXCEEDING ALL ELEVATION REQUIREMENTS PER LOCAL AND OTHER JURISDICTIONS.
- THE PERMITTING PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.
- BUILDER RESPONSIBILITIES:
 - 5.1. METHODS, PROCEDURES AND SEQUENCES OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN AND ENSURE THE INTEGRITY OF THE STRUCTURE AT ALL STAGES OF CONSTRUCTION.
 - 5.2. FOLLOW ALL APPLICABLE SAFETY REQUIREMENTS PER OSHA, LOCAL, AND OTHER JURISDICTIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY A FLOOD ZONE, IF ANY, AND ANY REQUIRED CODE-SPECIFIC BUILDING REQUIREMENTS.
 - 5.3. CONTRACTOR TO PROVIDE ALL MATERIAL RECEIPTS AND OTHER MATERIAL IDENTIFICATION IN ORDER TO CORRELATE WITH ALL DETAILS PROVIDED IN THIS DRAWING SET AS WELL AS REQUIREMENTS SET FORTH BY ALL APPLICABLE STANDARDS, ETC., WITH ALL MATERIAL INFORMATION PRIOR TO INSPECTIONS. (IE. PRODUCT NAME, MAKE, MODEL, AND RELATIVE LOCATION OF RECORD).
 - 5.4. CONTRACTOR AND HIS SUBCONTRACTORS ARE RESPONSIBLE FOR MATERIAL QUANTITIES AND ANY AND ALL UNSPECIFIED COMPONENTS REQUIRED FOR CONSTRUCTION.
 - 5.5. PRESSURES, APPLICABLE TO PRODUCT EVALUATION REPORTS, AND MANUFACTURERS' INSTALLATION INSTRUCTIONS (E.G., WINDOWS, DOORS, GARAGE DOORS, SPOILING, ROOFING, ETC.) ARE REQUIRED TO BE MAINTAINED ON SITE FOR REVIEW BY INSTALLERS AND INSPECTORS.
 - 5.6. DOUBLE UNDERLAYMENT IS REQUIRED FOR SHINGLES INSTALLED ON ROOF SLOPES BETWEEN 2:12 AND 4:12 UNDERLAYMENT ARE NOT ALLOWED FOR LESS THAN 2:12 SLOPE.
 - 5.7. LOW SLOPE ROOF CONVEYING TO BE USED ON ROOFS WITH 2:12 SLOPE.
 - 5.8. WINDSHORE DEBERS PROTECTION IN ACCORDANCE WITH IRC 1602.2 MUST BE PROVIDED PRIOR TO FINAL APPROVAL AND ISSUANCE OF WP-2.
 - 5.9. CONTRACTOR ENGINEER OF RECORD SHOULD HAVE A SITE CONDITION VARIANCES OR STRUCTURAL DESIGN NOTES.
 6. ALL FRAMING SHALL BE THE FOLLOWING:
 - 6.1. STRUCTURAL FRAMING: EXPOSED TO WEATHER SHALL BE PRESSURE TREATED.
 - 6.2. IF FRAMING MATERIAL EXPOSED TO WEATHER SHALL BE PRESSURE TREATED.
 - 6.2.1. IF DIRECT CONTACT W/ SALTY WATER 2:10 COA
 - 6.2.2. IF DIRECT CONTACT W/ FRESHWATER 0:6 COA
 - 6.2.3. IF DIRECT CONTACT W/ GROUND 0:6 COA
 - 6.3. ALL SILL PLATE TO FOUNDATION ANCHORS TO BE 5/8" HOT DIP GALVANIZED (HOG) WITH 3" SQUARE STEEL PLATE WASHERS ADJOINING NO LESS THAN 1" EMBEDMENT INTO SILL ON GRADE FOUNDATION (ONE ANCHOR BOLT SHALL BE PROVIDED BETWEEN 6" AND 12" CIRCLES OF EACH END OF EACH PLATE, INCLUDING SPICES).
 - 6.4. ALL BEAM-TO-PIECE ANCHOR BOLTS SHALL BE 5/8" WITH 7" HOG SQUARE STEEL PLATE WASHERS.
 - 6.5. ALL LOAD-BEARING WALLS TO BE CONSTRUCTED WITH MINIMUM 2"x4" STUDS SPACING NO MORE THAN 16" O.C. WITH LATERALLY UNSUPPORTED STUD HEIGHT NOT EXCEEDING 10 FEET.
 - 6.6. BLOCKING REQUIRED AT MID-SPAN OF STUDS WHEN WALL HEIGHT IS GREATER THAN 9 FEET.
 - 6.7. NO LESS THAN (3) STUDS SHALL BE INSTALLED AT ALL EXTERIOR WALL CORNERS.
 - 6.8. ALL EXTERIOR WALLS TO BE CONSTRUCTED WITH DOUBLE TOP PLATES.
 - 6.9. DOORS TO BE FRAMED IN LINE AT ROOFS, HIPS, AND VALLEYS TO ALLOW FOR ALL APPLICABLE MANUFACTURER'S RECOMMENDED SYSTEM (MFRS) STRAPPING.
 7. GENERAL WINDOW/DOOR REPAIRING SYSTEM (MFRS) STRAPPING.
 - 7.1. PRE-POUR INSPECTION MUST BE SCHEDULED AND COMPLETED NO LESS THAN 24 HOURS PRIOR TO SCHEDULED POUR DATE.
 - 7.2. SHOULD PRE-POUR INSPECTION FAIL FOR ANY REASON, CONTRACTOR MUST ALLOW FOR VISUAL INSPECTION OF CORRECTIONS BY WINDSHORE ENGINEERING, LLC PRIOR TO PROCEEDING.
 - 7.3. PRIOR TO APPROVAL OF FINAL FRAMING, CONTRACTOR MUST ALLOW FOR WINDSHORE ENGINEERING, LLC STAFF TO COMPLETE VISUAL INSPECTION OF ALL WINDOW AND DOOR FRAMING, INCLUDING, BUT NOT LIMITED TO, HOLD-DOWNS, NAILS, STRAPPING, NAILING PATTERNS ON SHEATHING AND ROOF JACKING. CONTRACTOR NOT TO COVER FASTENERS AND WINDOW/DOOR BEFORE INSPECTION APPROVAL.
 - 7.4. PROPER SLOPE/DRAINAGE SHALL BE MAINTAINED AT PORCHES, PATIOS, GARAGES, ROOFS, ETC.
 - 7.5. PRIOR TO SUBMITTAL OF WP-2, CONTRACTOR MUST ALLOW FOR WINDSHORE ENGINEERING, LLC STAFF TO COMPLETE VISUAL INSPECTION OF INSTALLATION OF EXTERIOR MECHANICAL EQUIPMENT.
 - 7.6. WINDSHORE ENGINEERING, LLC STAFF REFERENCE WILL BE EITHER A TIDM (APPOINTED QUALITY INSPECTOR) OR A DESIGNATED REPRESENTATIVE OF A TIDM (APPOINTED FOUNDATION GENERAL NOTES).
 8. FOUNDATION GENERAL NOTES:
 - 8.1. IF SITE-SPECIFIC SOILS REPORT IS NOT PROVIDED, FOUNDATION DESIGN IS BASED ON A POTENTIAL VERTICAL RISE (PIR) OF 1" OR LESS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THIS PIR LIMITATION HAS BEEN REACHED.
 - 8.2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FOUNDATION DIMENSIONS, LOGS, DROPS, OFF-SETS, ETC. DURING CONSTRUCTION, EXISTING AND FUTURE UTILITIES, POTENTIAL CONFLICTS AND PRE-CONSTRUCTION OF A DESIGNATED REPRESENTATIVE OF A TIDM (APPOINTED QUALITY INSPECTOR) OR A DESIGNATED REPRESENTATIVE OF A TIDM (APPOINTED FOUNDATION GENERAL NOTES).
 - 8.3. POSITIVE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES PER IRC 1804.4.

PLEASE NOTE: IT IS THE CONTRACTOR'S RESPONSIBILITY TO SCHEDULE ALL INSPECTIONS NO LESS THAN 24 HOURS PRIOR TO TIME OF INSPECTION. FAILURE TO NOTIFY AND SCHEDULE MANDATORY INSPECTIONS MAY REQUIRE DESTRUCTIVE TESTING AND/OR DEMOLITION OF COMPLETED WORK IN ORDER TO VERIFY COMPLIANCE. PLEASE CONTACT (361) 450-0234 FOR ALL SCHEDULING NEEDS.

- 9.1. SLAB ON GRADE FOUNDATION NOTES:
 - 9.1.1. ALL CONCRETE SHALL BE NORMAL WEIGHT, READY-MIXED AND IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE (ACI) 318, 301 AND ASTM C94. CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. SLUMP NOT LESS THAN 3" AND NOT MORE THAN 5". ALL ADJUSTMENTS SHALL BE APPROVED BY THE ENGINEER OF RECORD.
 - 9.1.2. DEPOSED NON-REINFORCED CONCRETE SHALL CONFORM TO ASTM A615, GRADE 60, LAP ALL REBAR SPICES 30" BAR DIAMETERS. REINFORCEMENTS SHALL CONFORM TO ASTM A615, GRADE 60, LAP ALL REBAR SPICES 30" BAR DIAMETERS. REINFORCEMENTS SHALL CONFORM TO ASTM A615, GRADE 60, LAP ALL REBAR SPICES 30" BAR DIAMETERS. REINFORCEMENTS SHALL CONFORM TO ASTM A615, GRADE 60, LAP ALL REBAR SPICES 30" BAR DIAMETERS.
 - 9.1.3. ANCHOR BOLTS SHALL BE EMBEDDED INTO CONCRETE FOUNDATION A MINIMUM OF 7" AND SHALL CONFORM TO ASTM A615, GRADE 60. CONTRACTOR TO WAIT UNTIL THE CONCRETE IS AT LEAST 14 DAYS OLD PRIOR TO TIGHTENING THE ANCHOR BOLTS IN ORDER TO PREVENT BOLT ROTATION. ANCHOR BOLT SPACING PER WINDSHORE PLAN.
 - 9.1.4. A MINIMUM 6" MIL. POLYETHYLENE MOISTURE BARRIER SHALL BE INSTALLED UNDER ALL CONCRETE SLABS WITH 6" LAPS AT ALL SPICES.
 - 9.1.5. KEEP MINIMUM OF 1" LATERAL CONCRETE COVER, 2" OFF OF TRENCH BOTTOM, AND 2" FROM BOTTOM OF THE SLAB. ALL REBAR AND TENDONS TO BE UNIFORMLY SUPPORTED BY 2" CHAIRS OR BLOCKING.
 - 9.1.6. CLEARANCE FROM THE EDGE OF THE SLAB.
 - 9.1.7. TENDONS SHALL BE ANCHORED AT 3X FLOORS PER STRAND. ONLY QUALIFIED TECHNICIANS SHALL PERFORM THE TENDON ELONGATION. A COPY OF FIELD ELONGATION RECORDS AND TECHNICIAN CERTIFICATIONS SHALL BE PROVIDED TO ENGINEER OF RECORD UPON COMPLETION.
 - 9.1.8. ANY PENETRATIONS THROUGH THE SLAB SHALL NOT EXCEED 8" DIA. INCLUDING BUT NOT LIMITED TO JOB TRAYS.
 - 9.1.9. EXCESSIVE MOISTURE SHALL BE PREVENTED BY COVERING ALL EXPOSED REBAR WITH NON-EXPANSIVE STRUCTURAL FILL MATERIALS IN 8" NOT LIPS AND FOLLOWING INDUSTRY STANDARD COMPACT PRACTICES.
 - 9.1.10. NO LARGE TREES OR SHRUBBERY SHALL BE PLANTED WITHIN 15' FT OF SLAB EDGE.
 - 9.1.11. THE ENGINEER OF RECORD SHALL BE NOTIFIED AT LEAST ONE DAY PRIOR TO INSPECTIONS FOR BOTH CONCRETE POURS AND TENDON STRESSING.
 - 9.1.12. APPROPRIATE SIMPSON STRONG-TIE COLUMN BASE SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS FOR TIMBER COLUMNS DURING CONCRETE POUR. CONTRACTOR RESPONSIBLE FOR MAINTAINING REQUIRED MINIMUM CONCRETE CLEARANCE AROUND COLUMN BASE.
- 10.1. POST TENSIONING SLAB FOUNDATION NOTES:
 - 10.1.1. ALL CONCRETE SHALL BE NORMAL WEIGHT, READY-MIXED AND IN ACCORDANCE WITH ACI 318, 301 AND ASTM C94. CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS AND AT LEAST 2000 PSI AT THE TIME OF STRESSING WHICH IS USUALLY AFTER 10 TO 14 DAYS OF CURING. CONCRETE SHALL HAVE A SLUMP NOT LESS THAN 3" AND NOT MORE THAN 5". ALL ADJUSTMENTS SHALL BE APPROVED BY THE ENGINEER OF RECORD.
 - 10.1.2. POST TENSIONING STRANDS SHALL CONFORM TO THE REQUIREMENTS OF "SPECIFICATIONS FOR RELAXATION 7" STRESS RELIEVED STRAND SHALL HAVE A QUADRUPLED ULTIMATE TENSILE STRENGTH OF 720KSI AND APPLICABLE IN A PLANT CURRENTLY CERTIFIED BY PTI.
 - 10.1.3. ANCHOR BOLTS SHALL BE 5/8" WITH 7" HOG SQUARE STEEL PLATE WASHERS.
 - 10.1.4. CONFORM TO ASTM A615, GRADE 60. CONTRACTOR TO WAIT UNTIL THE CONCRETE IS AT LEAST 14 DAYS OLD PRIOR TO TIGHTENING THE ANCHOR BOLTS IN ORDER TO PREVENT BOLT ROTATION. ANCHOR BOLT SPACING PER WINDSHORE PLAN.
 - 10.1.5. A MINIMUM 6" MIL. POLYETHYLENE MOISTURE BARRIER SHALL BE INSTALLED UNDER ALL CONCRETE SLABS WITH 6" LAPS AT ALL SPICES.
 - 10.1.6. ALL END ANCHORAGES SHALL CONFORM TO ACI CODE REQUIREMENTS AND SHALL BE INSTALLED PER THE MANUFACTURER'S INSTALLATION GUIDE.
 - 10.1.7. KEEP MINIMUM OF 1.5" LATERAL CONCRETE COVER, 2" OFF OF TRENCH BOTTOM, AND 2" FROM BOTTOM OF THE SLAB. ALL REBAR AND TENDONS TO BE UNIFORMLY SUPPORTED BY 2" CHAIRS OR BLOCKING.
 - 10.1.8. CLEARANCE FROM THE EDGE OF THE SLAB.
 - 10.1.9. TENDONS SHALL BE ANCHORED AT 3X FLOORS PER STRAND. ONLY QUALIFIED TECHNICIANS SHALL PERFORM THE TENDON ELONGATION. A COPY OF FIELD ELONGATION RECORDS AND TECHNICIAN CERTIFICATIONS SHALL BE PROVIDED TO ENGINEER OF RECORD UPON COMPLETION.
 - 10.1.10. ANY PENETRATIONS THROUGH THE SLAB SHALL NOT EXCEED 8" DIA. INCLUDING BUT NOT LIMITED TO JOB TRAYS.
 - 10.1.11. EXCESSIVE MOISTURE SHALL BE PREVENTED BY COVERING ALL EXPOSED REBAR WITH NON-EXPANSIVE STRUCTURAL FILL MATERIALS IN 8" NOT LIPS AND FOLLOWING INDUSTRY STANDARD COMPACT PRACTICES.
 - 10.1.12. NO LARGE TREES OR SHRUBBERY SHALL BE PLANTED WITHIN 15' FT OF SLAB EDGE.
 - 10.1.13. THE ENGINEER OF RECORD SHALL BE NOTIFIED AT LEAST ONE DAY PRIOR TO INSPECTIONS FOR BOTH CONCRETE POURS AND TENDON STRESSING.
 - 10.1.14. APPROPRIATE SIMPSON STRONG-TIE COLUMN BASE SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS FOR TIMBER COLUMNS DURING CONCRETE POUR. CONTRACTOR RESPONSIBLE FOR MAINTAINING REQUIRED MINIMUM CONCRETE CLEARANCE AROUND COLUMN BASE.
- 10.16. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE UNDERGROUND PLUMBING AND ANY OTHER WORK UNDER THE BUILDING FOUNDATION HAS BEEN COMPLETED PRIOR TO POUR. CONTRACTOR SHALL ENSURE PROPER COMPACTION OF THE EXISTING SOIL OR SELECT BACKFILL MATERIALS PRIOR TO PLACING THE FOUNDATION CONCRETE.
- 11.1. TIMBER FRAME FOUNDATION NOTES:
 - 11.1.1. JOISTS TO BE FASTENED TO GROUND WITH 2X BLOCKING NAILLED BETWEEN GIRDERS AND UP THE SIDE OF EACH JOIST. (3) NAILS EACH SIDE OF GIRDERS INTO BLOCK AND (5) NAILS INTO JOISTS.
 - 11.1.2. BLOCKING TO BE 12" LOWER THAN TOP OF JOIST.
 - 11.1.3. SIMPSON CONNECTORS AT JOIST-GIRDER INTERFACE PER WINDSHORE PLAN DETAILS.
 - 11.1.4. PORCH JOISTS.
 - 11.1.5. JOISTS TO BE FASTENED TO GROUND WITH 2X BLOCKING NAILLED BETWEEN GIRDERS AND UP THE SIDE OF EACH JOIST. (3) NAILS EACH SIDE OF GIRDERS INTO BLOCK AND (5) NAILS INTO JOISTS.
 - 11.1.6. BLOCKING TO BE 12" LOWER THAN TOP OF JOIST.
 - 11.1.7. SIMPSON CONNECTORS AT JOIST-GIRDER INTERFACE PER PLAN DETAILS.
 - 11.1.8. PROVIDE NO LESS THAN (2) HOLD-DOWN TENSION DEVICES WITHIN 2 FEET OF THE EDGE OF THE DECK ATTACHED VALUEDER.
 - 11.1.9. DECK HOLD-DOWN TENSION DEVICES TO HAVE AN ALLOWABLE STRESS DESIGN CAPACITY NOT LESS THAN 1,500 LB.
 - 11.2. PRESSURE BLOCKING NOT TO EXCEED 4" O.C. BETWEEN FIRST TWO JOISTS. PRESSURE BLOCKING @ MID-SPAN BETWEEN REMAINING JOISTS.
 - 11.3. JOISTS TO ACHIEVE 2" MINIMUM BEAM BEARING WIDTH ABOVE BEAMS AT EACH END.
 - 11.4. INCLUDE TRIPLE FLOOR JOISTS AT ENDS OF WALL BELOW SILL PLATES AND DOUBLE FLOOR JOISTS.
 - 11.5. PROVIDE PRESSURE BLOCKING BETWEEN GIRDERS @ 16" O.C. USE (3) NAILS EACH SIDE & (5) NAILS INTO JOISTS.
 - 11.6. GIRDERS.
 - 11.6.1. PROVIDE PRESSURE BLOCKING BETWEEN GIRDERS @ 16" O.C. USE (3) NAILS EACH SIDE & (5) NAILS INTO JOISTS.
 - 11.6.2. CONCRETE JOISTS TO PILES WITH (2) 5/8" HOG BOLTS WITH 2" SQUARE WASHERS (4 BOLTS @ ANY GIRDER SPICES).
 - 11.7. PLUG NOT TO BE NOTICED MORE THAN 5%.
 - 11.8. ALL FASTENERS TO BE HOG OR SS UNLESS OTHERWISE NOTED.
 - 11.9. LUMBER GRADE OF ALL FRAMING MATERIAL TO BE SOUTHERN PINE #1 UNLESS OTHERWISE NOTED.
 - 11.10. ALL FRAMING MATERIAL EXPOSED TO WEATHER TO BE PRESSURE TREATED.
 - 11.11. WRAP PLUG WITH 30 LB FELL 1" ABOVE AND BELOW GROUND.
 - 11.12. IF WATER IS ENCOUNTERED DURING CONSTRUCTION CONTACT THE ENGINEER OF RECORD.
 - 11.13. CONTRACTOR RESPONSIBLE FOR ENSURING ADEQUATE FINE FINISHED ELEVATION PRIOR TO NOTCHING AND INSTALLING GIRDERS.
 - 11.14. SPICING OF PILES IS NOT ALLOWED UNLESS OTHERWISE AUTHORIZED BY THE ENGINEER OF RECORD.
 - 11.15. CONTRACTOR RESPONSIBLE FOR ENSURING PROPER BACKFILL AROUND PILES AS WELL AS PROPER SLOPE DRAINAGE PER IRC 1804.4.
 - 11.16. CONTRACTOR TO VERIFY TRUTHNESS, AND LEVELNESS OF ALL FLOOR FRAMING MEMBERS (PILES, GIRDERS, JOISTS, SUBFLOOR, ETC.) PRIOR TO INITIATING WALL FRAMING TYP.

JOB ADDRESS: 1026 PATTON ST.		DRAWN BY: DNB	
ROCKPORT, TX 78382		CHECKED BY: LJS	
SHEET TITLE: PROJECT GENERAL NOTES			
SCALE: N/A		REV C: N/A	
ORIGINAL: 04/29/2025	REV A: N/A	REV B: N/A	

WINDSHORE
ENGINEERING, LLC

TEXAS ENGINEERING FIRM F-17772
4161 HWY 35 NORTH UNIT 1
ROCKPORT, TX 78382
(361) 450-0234



SHEET NO. S1.0

Property ID	Property Owner	Situs Address	Mailing Address	City	State	ZIP
33188	Jose Trevino	1026 Patton st.	8622 Dana Top dr.	Boerne	TX	78382
55213	Gregory & Jana Schulze	1402 E Alamito st.	7904 Cheno Cortina Trl	Austin	TX	78749
55214	William Jones	1408 E Alamito st.	1408 E Alamito st.	Rockport	TX	78382
33399	Christopher Russ	1422 E Alamito st.	4526 Shetland In.	Houston	TX	77027
33187	Elizabeth Beken	1029 Lady Claire st.	P O Box 605	Weimar	TX	78962
33186	Andrew & Charles Reichert	1021 Lady Claire st.	207 Hill Country In.	San Antonio	TX	78232
33185	Eric & Naomi Ludan	1017 Lady Claire st.	CMR 467 Box 5051	APO	AE	9096
33184	Rockport Christian Service	1422 E Cedar st.	P O Box 465	Rockport	TX	78381
54183	Amy Meadors	1006 Patton st.	1006 Patton st.	Rockport	TX	78382
33191	Tammy Redden	1014 Patton st.	1014 Patton st.	Rockport	TX	78382
33189	Johnny & Esmeralda Rodriguez	1409 E Alamito st.	7129 Elliott dr.	Dallas	TX	75227
33190	Rena Hartman	1022 Patton st.	1022 Patton st.	Rockport	TX	78382
65192	Steve Legner	1015 Patton st.	1304 Smokehouse rd.	Rockport	TX	78382
33197	Graynor Properties LLC	1021 Patton st.	2506 Turkey Neck cir.	Rockport	TX	78382
33198	Cynthia Brookes	1025 Patton st.	1025 Patton st.	Rockport	TX	78382
33199	City of Rockport	1301 E Alamito st.	2751 SH 35 Bypass	Rockport	TX	78382
66376	Kerry Keene & Sherri Bujano	1101 Patton st.	320 Gaiety In.	San Antonio	TX	78219
66377	Donald & Cheryl Fels	1105 Patton st.	2222 Country Club dr.	Pearland	TX	77581
66378	Phillip & Nancy Edwards	1109 Patton st.	1109 Patton st.	Rockport	TX	78382
	Warren Hassinger	Zoning Board of Adjustment	2517 Turkey Neck Circle	Rockport	TX	78382
	Patt (Patricia) Bemrose	Zoning Board of Adjustment	1435 S Water	Rockport	Tx	78382
	Pamela Dixon Frost	Zoning Board of Adjustment	412 Cherry Hills Dr	Rockport	TX	78382
	Richard W. Smith	Zoning Board of Adjustment	131 Pecan Harbor St	Rockport	TX	78382
	Janetta Davis	Zoning Board of Adjustment	474 Augusta Drive	Rockport	TX	78382
	Rocky Gudim	Zoning Board of Adjustment	1016 S Magnolia St	Rockport	Tx	78382
	Brandi Picton	Zoning Board of Adjustment	1803 Picton Ln	Rockport	Tx	78382



NOTICE OF PUBLIC HEARING

Rockport Zoning Board of Adjustments

NOTICE is hereby given that the Rockport Zoning Board of Adjustment will hold a Public Hearing on Thursday, July 24, 2025, at 5:30 p.m., City of Rockport City Hall, 212 N Live Oak, Rockport, Texas, to consider a request for relief from the Zoning Ordinance for the 20 foot rear setback be reduced to 5 feet on property located at 1026 Patton St, otherwise known as the W ½ of Lot 9, N 12 ½ ' of the W ½ of Lot 10.

Public participation is valued and citizens wishing to express their views during the Public Hearing can electronically submit a Citizen Participation Form in order to register to speak by going to <https://rockporttx.gov/MyAccount/?from=Url&url=%2FFormCenter%2FCitizen-Participation-Form-7%2FBoard-and-Commission-Comment-Participati-56>, or if attending the meeting in person register at the meeting before the meeting begins. Using the same form, citizens can also provide written comments to the City Planner by 3:00 p.m. on the day of the Zoning Board of Adjustments meeting. The comments will be read and summarized in the minutes of the meeting.

The city encourages citizens to participate and make their views known at the Public Hearings. For further information on this request, please contact the Building Department at (361) 790-1125.

CITY OF ROCKPORT, TEXAS

/s/ Shelley Goodwin, City Secretary

TO BE ON RECORD, THIS FORM MUST BE FILLED OUT, SIGNED BY THE CURRENT PROPERTY OWNER(S) AND MAILED IN ITS ENTIRETY TO THE BUILDING & DEVELOPMENT SERVICES DEPARTMENT, 2751 STATE HIGHWAY 35 BYPASS, ROCKPORT, TX 78382. ANY INFORMATION PROVIDED BELOW BECOMES PUBLIC RECORD.

NOTE: In accordance with the Open Meetings Act and Public Information Act, no discussion shall be held by a member or members of this Commission, either at home or office, or in person, by telephone call or by letter.

Printed Name: RENA C. HARTMAN

Address: 1026 Patton St,

City/State: Rockport, TX

☒ IN FAVOR () IN OPPOSITION

Phone: 361-557-1831

REASON:

Benefits their household, no infringement on anyone else.

Rena C. Hartman

Signature

See map on reverse side.

Carey Dietrich

From: noreply@civicplus.com
Sent: Monday, July 21, 2025 7:23 AM
To: Shelley Goodwin; Carey Dietrich
Subject: Online Form Submittal: Board and Commission Comment Participation Form

WARNING: This email is from an external source. Do not click links or open attachments without positive sender verification of purpose. Never enter Username, Password or sensitive information on linked pages from this email. If you are unsure about the message, please forward to itstaff@cityofrockport.com for assistance.

Board and Commission Comment Participation Form

BOARD AND COMMISSION CITIZEN COMMENT FORM

Citizens wishing to speak at a meeting must sign up prior to start of the meeting.

All online submissions must be received by 3:00 p.m. the date of the meeting (unless otherwise noted on the agenda).

Date of the Meeting: 07/24/2025

Agenda Item number: *Field not completed.*

Name (First and Last Name): Jose Trevino

Address (including street, city and state): 1026 Patton St
Rockport, TX 78382

Do you wished to be contacted? No

If yes, please provide an email or phone number: 2107901011

Your statement: Hello,

I am the homeowner requesting the variance. I wish to submit my in favor ballot but also be present to answer any questions. I am adding a 2nd bathroom to my home and hope to receive approval in order to move forward with construction. I would like to add the bathroom in the rear of the house to not mess with aesthetics to the front of the home with the other homes in the area.

Thanks,

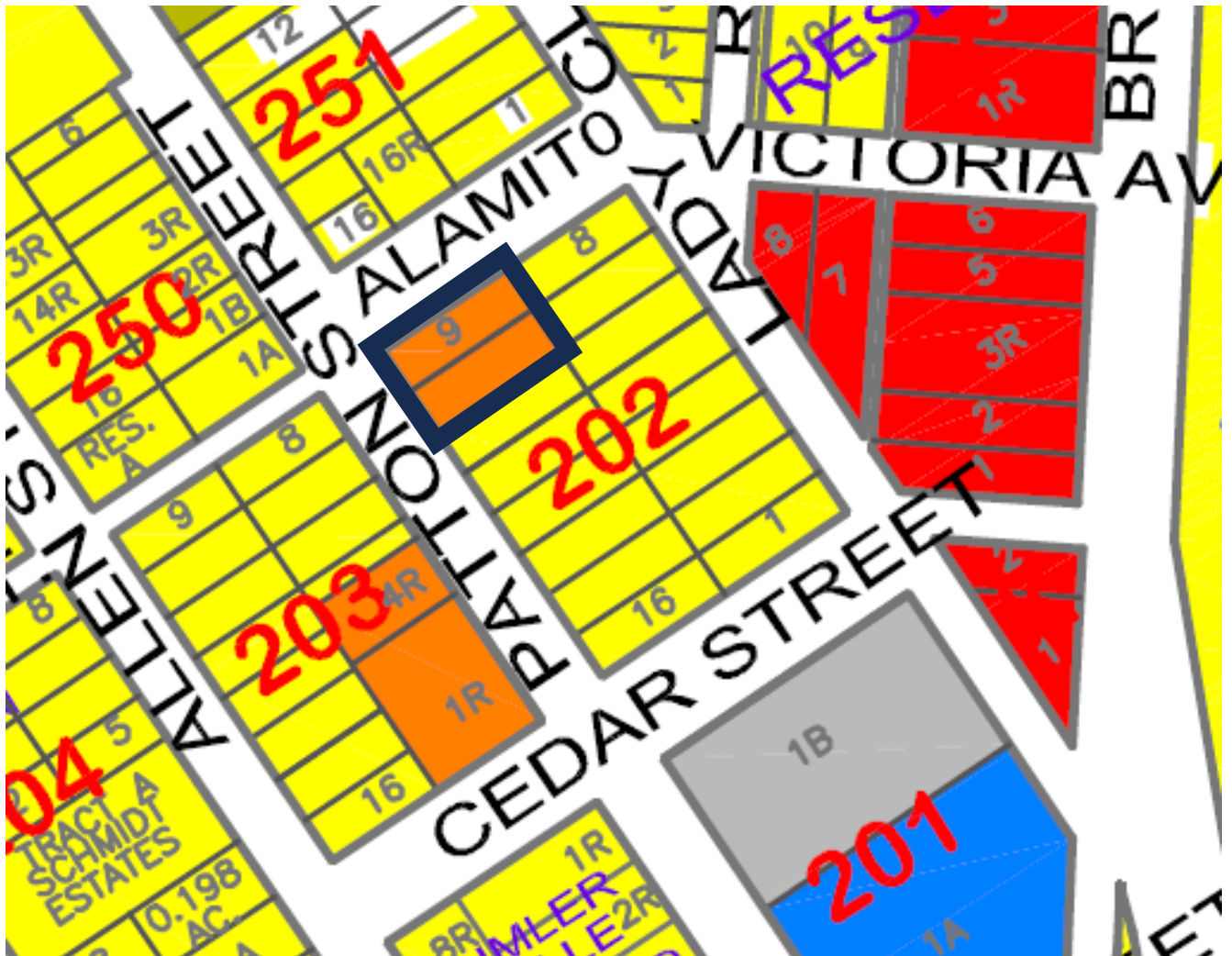
Jose Trevino

These comments will not be read but will be uploaded to the agenda meeting and distributed to the Commissioners. All comments will be retained in accordance with the Texas State Library Archives Retention Schedules.

Email not displaying correctly? [View it in your browser.](#)

ZONING MAP

1026 PATTON



FUTURE LAND USE MAP

1026 PATTON



Zoning Board of Adjustment AGENDA

Called Meeting: Thursday, July 24, 2025

AGENDA ITEM: 6

Deliberate and act on a request for a request for relief from the Zoning Ordinance for the 20' front setback be reduced to 15' on property located at 1856 Bay Shore otherwise known as Lot 30, Block 1, Key Allegro Unit #1.

SUBMITTED BY: Community Planner / Carey Dietrich

BACKGROUND: Property owner, Mason Barnes, is requesting a variance to the front setback of 20' be reduced to 15' in order to somewhat reduce the salt spray and general coverage of the salt spray on the residential dwelling as the lot is adjacent to Aransas Bay rather than a canal. Staff inadvertently published the request as a Variance to the rear setback but wish to correct that in these proceedings.

A public notice regarding this item was published in The Rockport Pilot in the Thursday, July 3, 2025 edition and mailed out to fourteen (14) property owners within a 200-foot radius of the property. Two (2) letters For and One (1) letter Against the request have been received at this time.

Please see the accompanying variance request application and Sec 118-20 Table 20 for detail information.

FISCAL ANALYSIS: N/A

RECOMMENDATION: Staff recommends Approval of the request for relief from the Zoning Ordinance for the 20' front setback be reduced to 15' on property located at 1856 Bay Shore otherwise known as Lot 30, Block 1, Key Allegro Unit #1.



**City of Rockport
Board of Adjustment
Findings of Fact for Zoning Ordinance Variance**

Applicant: Mason Barnes

Lot/Tract/: 1856 Bay Shore – Lot 30, Block 1, Key Allegro Unit #1

Upon giving public notice and conducting a public hearing on this variance request in accordance with the City of Rockport Code of Ordinances, the Zoning Board of Adjustment adopts these specific, written findings as follows:

		YES	NO
1.	That there are special circumstances or conditions peculiar to the property involved; and		
2.	That the strict application of the terms of the Ordinance will impose upon the applicant unusual and practical difficulties or particular hardship.		
3.	That literal interpretation of the Ordinance will deprive the applicant of rights commonly enjoyed by other properties in the same district under the Ordinance; and		
4.	That the proposed variance is in harmony with the Ordinance's general purpose and intent; and		
5.	That the granting of the variance will not merely serve as a convenience to the applicant; and		
6.	That the granting of the variance will alleviate some demonstrable and unusual hardship or difficulty for the applicant; and		
7.	That granting the variance will not confer upon the applicant any special privilege that is denied by the Ordinance to other similarly situated properties in the same district; and		
8.	That the variance is in the public interest and will ensure that public substantial justice will be done.		
9.	That the surrounding property will be properly protected.		
10.	Remaining regulations are adequate to govern the project.		

All findings must be determined in the affirmative for the variance to be granted.

With _____ members present, and upon a vote of _____ for, _____ against, and _____ abstaining, the variance is hereby:

_____ **Granted**

_____ **Denied**

Presiding Officer of the Zoning Board of Adjustment

Date 3/27/2025



City of Rockport

Building & Development – 2751 SH 35 Bypass, Rockport, TX 78382 • (361) 790-1125 • FAX (361) 729-6476
www.cityofrockport.com

VARIANCE APPLICATION

A separate variance application for each (non-compliant) condition within a single building or facility must be submitted by the owner (or owner's designated agent) and must include a \$150.00 **non-refundable application fee**.

In addition, the application must be accompanied by plans (site and/or architectural) of all affected areas and any supporting documentation that provides adequate proof to the Zoning Board of Adjustment that compliance with the City of Rockport's Code of Ordinances is impractical or irrelevant to the nature, use, or function of the building or facility.

** IMPORTANT INFORMATION **

The appeal shall be made within 10 business days after the decision of the administrative official is made, by filing with the administrative official a completed application for appeal and filing fee. Incomplete applications and applications received without the required fee(s) will not be processed.

FORM MUST BE COMPLETED IN FULL

PLEASE PRINT OR TYPE

1. Has this project been reviewed? ☐ Yes ☐ No	2. If yes, name of reviewer:
3. Has this project been inspected? ☐ Yes ☐ No	4. If yes, name of inspector & date of inspection:

5. Project Name: <i>Mason Barner</i>			
6. Building/Facility Name:			
7. Address: <i>1856 Bayshore</i>	Suite #:	City: <i>Rockport</i>	Zip Code: <i>78382</i>

8. Description: Indicate the type of project: ☒ New Construction ☐ Addition ☐ Alteration	9. Scope of Work (Describe the construction activities): <i>Buld Hone (5 ft.)</i>
---	--

10. Square Footage of Building <i>total</i>	11. Square Footage Per Floor: <i>3162</i>
12. Is this building a qualified historic building? ☐ Yes ☒ No If yes, a copy of the determination of effect letter from the Texas Historical Commission (THC) must accompany this application.	13. State the specific location of the violation within the building or site:

14. Intent to Apply: I hereby apply for a variance from the City of Rockport Zoning Board of Adjustment. (Check one) I am the ☐ Owner ☐ Owner's Agent			
15. Name: <i>Mark Emery</i>		16. Company/Firm: <i>premier 2 mky homes</i>	
17. Address: <i>111 south sierra woods</i>		18. City: <i>Rockport</i>	19. State: <i>TX</i>
20. Zip Code: <i>78382</i>		21. Phone #: <i>361-386-0256</i>	
22. Fax #:		23. E-mail: <i>MarkEmery16@yahoo.com</i>	
24. Signature: <i>Mark Emery</i>		25. Date:	

EXHIBIT A

City of Rockport
Variance Application

AGENT'S AFFIDAVIT

I, Mark Emery, being first duly sworn, depose and say that I am the ATTORNEY-IN-FACT, AGENT or LESSEE of the property described and which is the subject matter of the proposed hearing; that all the answers to the questions in this application, and all sketches, data and other supplementary matter attached to and made a part of the application, are honest and true to the best of my knowledge and belief. I understand this application must be completed and accurate before hearings can be advertised. I also understand that it is my obligation to comply with any other lawfully adopted and recorded deed restrictions or covenants that are more restrictive or impose a higher standard, and that any action of this Board does not supersede those requirements.

Mark Emery
Printed Name of Agent

Mark Emery
Signature of Agent

111 South Sierra Woods
Physical Address

111 South Sierra Woods.
Mailing Address

Rockport 78382
City/State/Zip Code

Rockport 78382
City/State/Zip Code

STATE OF TEXAS

§

COUNTY OF Aransas

§

The foregoing instrument was acknowledged before me on this 26, day of June, 2025, by Mark Emery and

(name) who are personally known by me or who has

produced TXDL 19135384 and (document)

respectively, as identification and who did (did not) take an oath:



Stacy M. Cantu
Notary Public Signature

My Commission Expires: 5/7/2029

Stacy M. Cantu
Printed Name

Property ID	Property Owner	Situs Address	Mailing Address	City	State	ZIP
24606	Mason Barnes	1856 Bay Shore dr.	1506 Eberhard st.	Houston	TX	77019
24605	Jeremy Rhodes	1854 Bay Shore dr.	PO Box 43605	Kemp	TX	75143
24604	Kenward Kolar Jr	1852 Bay Shore dr.	468 Griffith dr.	Rockport	TX	78382
24603	Scott James Petty	1850 Bay Shore dr.	1027 Austin Hwy # 200	San Antonio	TX	78209
24607	G A & ED Lowrance inc	1858 Bay Shore dr.	8620 N New Braunfels St	San Antonio	TX	78217
24608	Cullen Family Limited Partnership	1860 Bay Shore dr.	104 Fairway st	Victoria	TX	77904
24609	Ramirez James P & Jennifer W Tru	1862 Bay Shore dr.	704 Jack Nicklaus dr.	Devine	TX	78016
24689	Emily & Deborah Donahue	1863 Bay Shore dr.	314 Seashell	Austin	TX	78734
24688	Breakfast at Tiffanys LLC	1861 Bay Shore dr.	9215 Schoolhouse rd.	San Antonio	TX	78255
24687	Onsite Real Estate Management LL	1859 Bay Shore dr.	2571 MacArthur VW	San Antonio	TX	78217
24686	William R Blanchard	1857 Bay Shore dr.	408 Tampa dr.	Victoria	TX	77904
24685	711 ECR 120 LLC	1855 Bay Shore dr.	405 N Llano st.	Fredericksburg	TX	78624
24684	Larry Hall	1853 Bay Shore dr.	PO Box 35	Driftwood	TX	78619
24683	Martin & Marisol Madden	1851 Bay Shore dr.	124 Memory Trail st.	Hollywood Park	TX	78232
	Warren Hassinger	Zoning Board of Adjustment	2517 Turkey Neck Circle	Rockport	TX	78382
	Patt (Patricia) Bemrose	Zoning Board of Adjustment	1435 S Water	Rockport	Tx	78382
	Pamela Dixon Frost	Zoning Board of Adjustment	412 Cherry Hills Dr	Rockport	TX	78382
	Richard W. Smith	Zoning Board of Adjustment	131 Pecan Harbor St	Rockport	TX	78382
	Janetta Davis	Zoning Board of Adjustment	474 Augusta Drive	Rockport	TX	78382
	Rocky Gudim	Zoning Board of Adjustment	1016 S Magnolia St	Rockport	Tx	78382
	Brandi Picton	Zoning Board of Adjustment	1803 Picton Ln	Rockport	Tx	78382



Mason B <masondbarnes@gmail.com>

1856 Bay Shore Drive request

6 messages

Mason B <masondbarnes@gmail.com>
To: jeremy@tricopipe.com

Mon, Jun 9, 2025 at 3:55 PM

Hi Jeremy,

Great speaking with you today. Just wanted to shoot you a quick email to recap our call and confirm that, as the owner of 1854 Bay Shore Dr., you're okay with us moving our soon-to-be constructed home next door to you at 1856 Bay Shore Dr. up 5 feet closer to Bay Shore Dr in order to gain some extra space in the rear of the home away from the water.

If you don't mind replying to me, I'll make sure that the appropriate parties have your approval on file.

Thanks again!

Mason Barnes
1856 Bay Shore Dr.
312-545-6356

Sent from my iPad

jeremy tricopipe.com <jeremy@tricopipe.com>
To: Mason B <masondbarnes@gmail.com>

Mon, Jun 9, 2025 at 4:59 PM

Hi Mason,

Thanks for reaching out. I'm okay with you moving your home closer to Bay Shore Dr.

Thanks,

Jeremy Rhodes
214-418-1660

> On Jun 9, 2025, at 15:55, Mason B <masondbarnes@gmail.com> wrote:

>

> Hi Jeremy,

[Quoted text hidden]

Mason Barnes <masondbarnes@gmail.com>
To: Chris Veatch <chris.veatch@keyallegroisland.com>

Mon, Jun 9, 2025 at 6:13 PM

Hi Chris,

Thanks for taking my call today. I was able to get ahold of both neighbors on either side of me who were very agreeable to the idea of allowing a variance to move our new home 5 feet closer to Bay Shore Dr. I'm forwarding on Jeremy's approval below, and will get Mrs. Lowrance's to you when she's able to facilitate that.

Of course, per your suggestion I'll work with Mark Emery and the city to make sure they're agreeable, before we go through the cost of the Key Allegro variance fee process, but just wanted to shoot this over while it's fresh on my mind.

Thanks,
Mason
[Quoted text hidden]



Mason B <masondbarnes@gmail.com>

1856 Bay Shore request

5 messages

Mason B <masondbarnes@gmail.com>
To: rmlowrance78217@att.net

Tue, Jun 10, 2025 at 10:58 AM

Mrs. Lowrance,

It was a pleasure speaking with you yesterday! Thank you so much for taking the time to chat with me, it was nice to get to know each other. As promised, I'm following-up re: our discussion about moving our soon-to-be constructed home at 1856 Bay Shore Dr. (located next to your property at 1858 Bay Shore) forward toward Bay Shore Drive, 5 feet. We really appreciate your kindness in agreeing to this request, and I think it will benefit all of us.

If you don't mind, just a quick reply to this email that you approve, and I'll make sure that the email is sent to Chris Veatch and the Key Allegro Canal and Property Owners Association.

We appreciate you, and hope to all meet up soon- come visit us once our house is complete!

Best,
Mason Barnes

1856 Bay Shore Dr.
312-545-6356

Sent from my iPad

Ruth Lowrance <rmlowrance78217@att.net>

Tue, Jun 10, 2025 at 11:08 AM

To: Mason B <masondbarnes@gmail.com>

Cc: Ruth Lowrance <ruthlowrance1@hotmail.com>, Tyler Beam <beamtyler@hotmail.com>

Per our conversation regarding moving your soon-to-be constructed home at [1856 Bay Shore Dr.](#) (located next to my property at 1858 Bay Shore) forward toward Bay Shore Drive, 5 feet, I am in agreement with your request.

Ruth M. Lowrance
Owner
G.A. & Ed Lowrance, Inc
210.822.7800

CONFIDENTIAL: This email and any files transmitted with it are confidential and intended solely for the use of the individual or entity to whom they are addressed. If you have received this email in error please notify the system manager. This message contains confidential information and is intended only for the individual named. If you are not the named addressee you should not disseminate, distribute or copy this email. Please notify the sender immediately by email if you have received this email by mistake and delete this email from your system. If you are not the intended recipient you are notified that disclosing, copying, distributing or taking any action in reliance on the contents of this information is strictly prohibited.

[Quoted text hidden]

Mason B <masondbarnes@gmail.com>

Tue, Jun 10, 2025 at 11:11 AM

To: Ruth Lowrance <rmlowrance78217@att.net>

Cc: Ruth Lowrance <ruthlowrance1@hotmail.com>, Tyler Beam <beamtyler@hotmail.com>



NOTICE OF PUBLIC HEARING

Rockport Zoning Board of Adjustments

NOTICE is hereby given that the Rockport Zoning Board of Adjustment will hold a Public Hearing on Thursday, July 24, 2025, at 5:30 p.m., City of Rockport City Hall, 212 N Live Oak, Rockport, Texas, to consider a request for relief from the Zoning Ordinance for the 20 foot rear setback be reduced to 5 feet on property located at 1856 Bay Shore otherwise known as Lot 30, Block 1, Key Allegro Unit #1.

Public participation is valued and citizens wishing to express their views during the Public Hearing can electronically submit a Citizen Participation Form in order to register to speak by going to <https://rockporttx.gov/MyAccount/?from=Url&url=%2FFormCenter%2FCitizen-Participation-Form-7%2FBoard-and-Commission-Comment-Participati-56>, or if attending the meeting in person register at the meeting before the meeting begins. Using the same form, citizens can also provide written comments to the City Planner by 3:00 p.m. on the day of the Zoning Board of Adjustments meeting. The comments will be read and summarized in the minutes of the meeting.

The city encourages citizens to participate and make their views known at the Public Hearings. For further information on this request, please contact the Building Department at (361) 790-1125.

CITY OF ROCKPORT, TEXAS

/s/ Shelley Goodwin, City Secretary

TO BE ON RECORD, THIS FORM MUST BE FILLED OUT, SIGNED BY THE CURRENT PROPERTY OWNER(S) AND MAILED IN ITS ENTIRETY TO THE BUILDING & DEVELOPMENT SERVICES DEPARTMENT, 2751 STATE HIGHWAY 35 BYPASS, ROCKPORT, TX 78382. ANY INFORMATION PROVIDED BELOW BECOMES PUBLIC RECORD.

NOTE: In accordance with the Open Meetings Act and Public Information Act, no discussion shall be held by a member or members of this Commission, either at home or office, or in person, by telephone call or by letter.

Printed Name: Muriel Cullen, managing partner of Cullen FLP + resident
Address: 1860 Bayshore City/State: Rockport TX

() IN FAVOR (X) IN OPPOSITION

Phone: (361) 935-3709

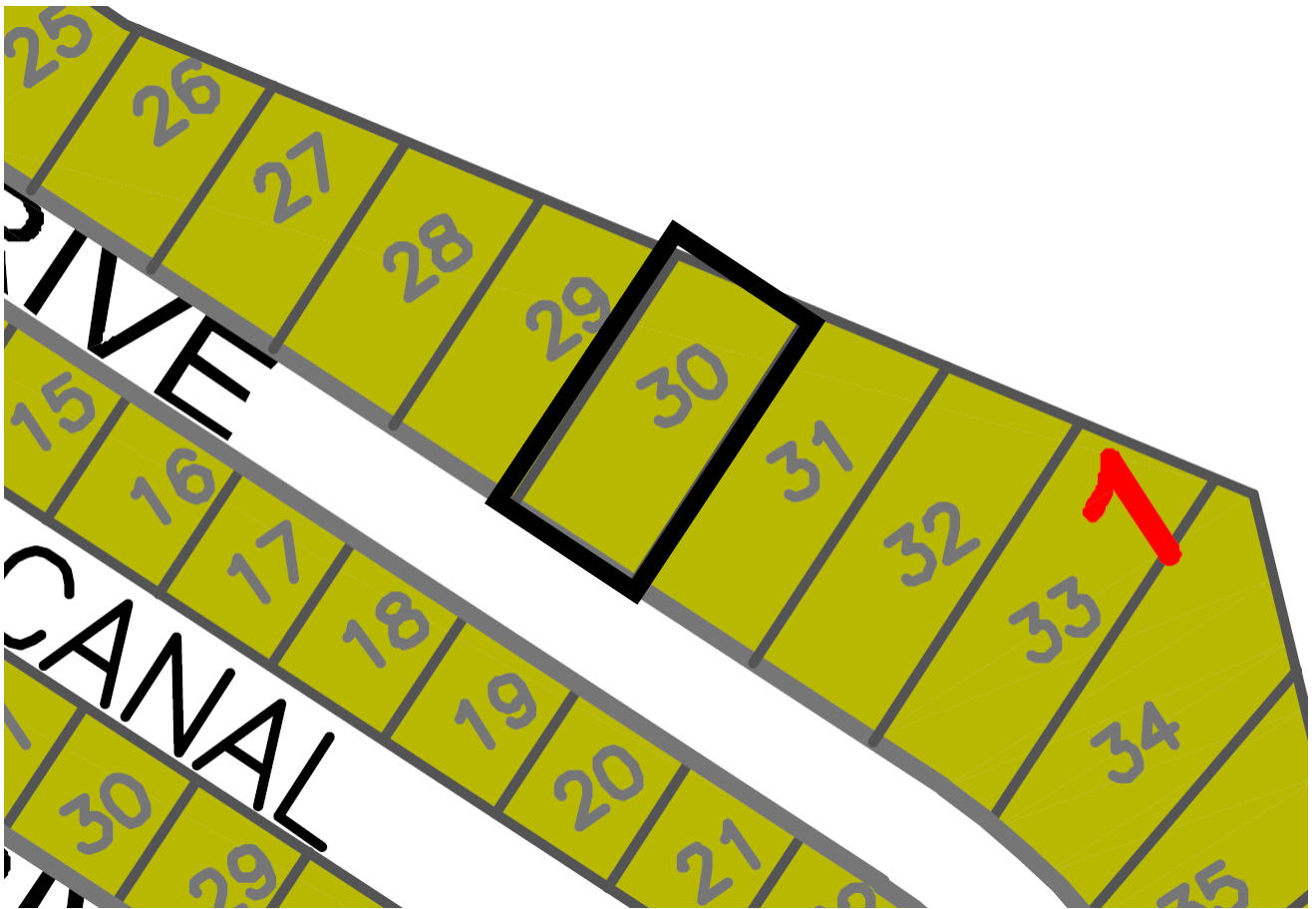
REASON:

Muriel Cullen

Signature

See map on reverse side.

ZONING MAP



FUTURE LAND USE MAP

